



**AGENDA
CITY OF ALLEN
PLANNING AND ZONING COMMISSION
REGULAR MEETING
TUESDAY, AUGUST 18, 2015 – 7:00 P.M.
CITY COUNCIL CHAMBERS
ALLEN CITY HALL
305 CENTURY PARKWAY
ALLEN, TEXAS 75013**

Call to Order and Announce a Quorum is Present

Pledge of Allegiance

Directors Report

1. Action taken on the Planning & Zoning Commission items by City Council at the July 28, 2015, and August 11, 2015, regular meetings.

Consent Agenda (*Routine P&Z business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.*)

2. Capital Improvement Program CIP Status Report.
3. Approve minutes from the July 21, 2015, regular meeting.
4. Request for Extension – Consider a request for a 60-day extension to file the Final Plat for Allen Center North Addition, Lot 6, Block A, being 1.9480± acres located in the James T. Roberts Survey, Abstract No. 777, City of Allen, Collin County, Texas; generally located south of Stacy Road and east of Greenville Avenue. (FP-4/17/15-21) [Allen Center North Addition]

Regular Agenda

5. Public Hearing – Conduct a Public Hearing and consider a request to amend the development regulations of Planned Development No. 108 and adopt a Concept Plan and Building Elevations relating to an 8.142± acre portion of Lot 1-R-1, Block F, Bray Central One Addition, City of Allen, Collin County, Texas, generally located at the southeast corner of the intersection of Raintree Circle and Junction Drive. (Z-5/18/15-27) [Alders at Twin Creeks]
6. 2016-2020 Capital Improvement Program Presentation.

Executive Session (*As Needed*)

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

Adjournment

This notice was posted at Allen City Hall, 305 Century Parkway, Allen, Texas, at a place convenient and readily accessible to the public at all times. Said notice was posted on Friday, August 14, 2015 at 5:00 p.m.

Shelley B. George, City Secretary

Allen City Hall is wheelchair accessible. Access to the building and special parking are available at the entrance facing Century Parkway. Requests for sign interpreters or special services must be received forty-eight (48) hours prior to the meeting time by calling the City Secretary at 214-509-4105.

Director's Report from 7/28/2015 City Council Meeting

- The request to adopt an Ordinance to amend the Development and Use Regulations applicable to Tract 4 of Planned Development PD No. 53, from Community Facilities CF to Townhome Residential District TH, and adopt a Concept Plan, Building Elevations, and Development Regulations for Allen Stake Center, generally located west of Alma Drive and north of Exchange Parkway, was tabled.
- The request to adopt an Ordinance to amend the base zoning of a portion of Planned Development No. 3 from Shopping Center SC to a base zoning of Light Industrial LI, and adopt Development Regulations, Concept Plan, Landscape Plan and Building Elevations for a 6.5± acre tract of land generally located northwest of the intersection of Greenville Avenue and Bethany Drive for The Tech Center on Greenville was approved.

Director's Report from 8/11/2015 City Council Meeting

- The tabled item to adopt an Ordinance to amend the Development and Use Regulations Applicable to Tract 4 of Planned Development No. 53, from Community Facilities to Townhome Residential District, and adopt a Concept Plan, Building Elevations, and Development Regulations for Allen Stake Center, generally located west of Alma Drive and north of Exchange Parkway, was approved.
- The request to adopt an Ordinance to create Planned Development No. 121 for Single-Family, Multi Family, Office and Retail Uses for 91.3± acre, generally located north and south of Montgomery Boulevard and west of US Highway 75, for Montgomery Ridge Phase 2, was approved.

PLANNING & ZONING COMMISSION AGENDA COMMUNICATION
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AGENDA DATE:	August 18, 2015
SUBJECT:	Capital Improvement Program (CIP) Status Report
STAFF RESOURCE:	Chris Flanigan, PE Director of Engineering
PREVIOUS COMMISSION/COUNCIL ACTION:	None
PUBLIC NOTICE:	None

BACKGROUND

Every month the Engineering Department will provide a status update of the City's Capital Improvement projects.

STAFF RECOMMENDATION

N/A

MOTION

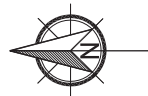
N/A

ATTACHMENTS

CIP Progress Report through July, 2015
CIP Map through July, 2015

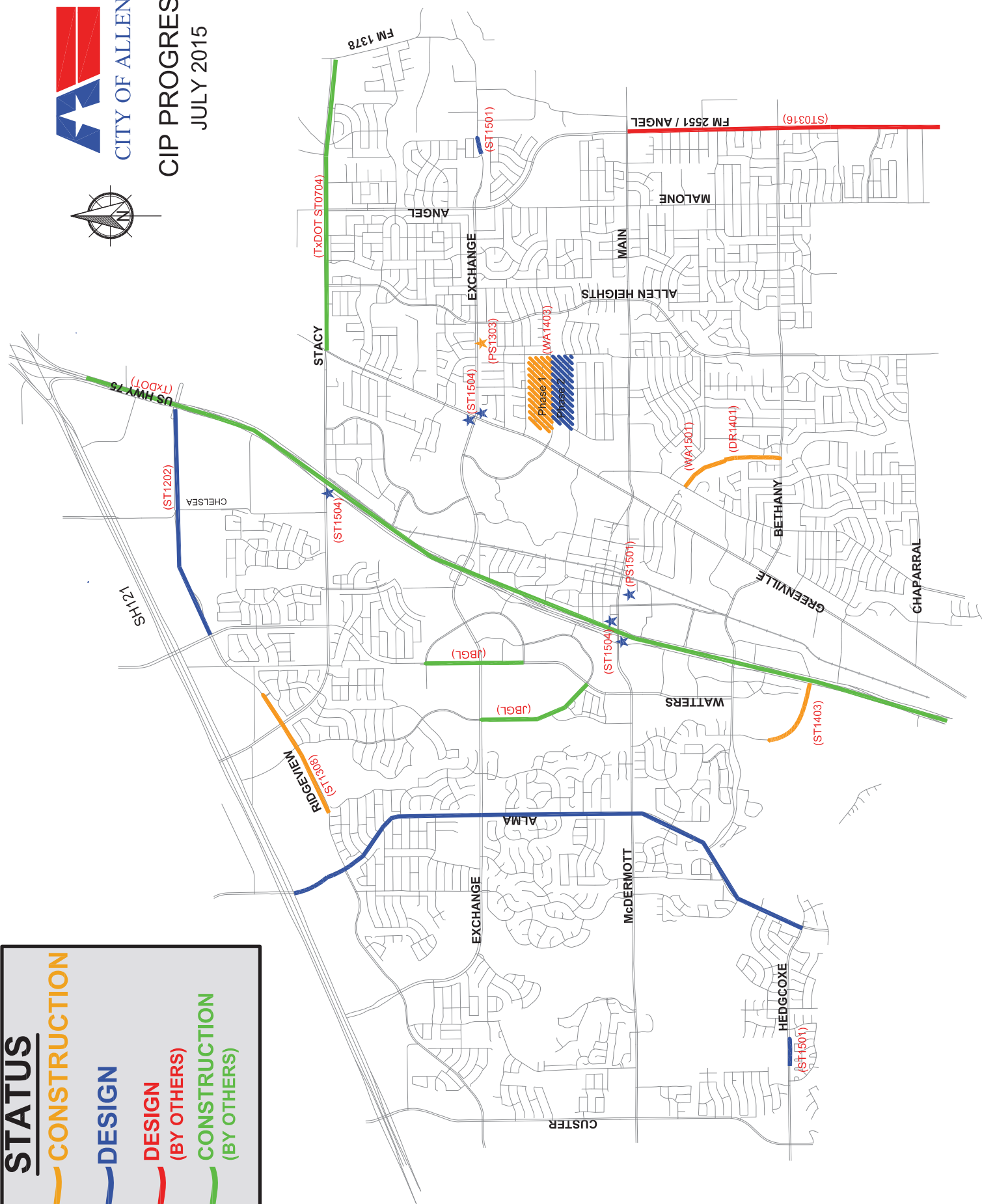
ENGINEERING CIP REPORT - THROUGH JULY 2015

	PROJECT		STATUS / COMMENTS		CONST. DATES
FACILITIES	1	Fire Station 2 Reconstruction	PS1303	City Council awarded to Crossland Construction June 23; It is anticipated that the temporary site preparations, move in of staff, abatement and demolition will all complete by October, with new construction beginning thereafter.	Complete Fall 2016
	2	City Hall Basement Remodel	PS1501	Awarded at the August 11 Council meeting. Completion remains anticipated for December 2015, with move-in January 2016.	Complete Dec. 2015
ROADS	3	2015 Intersection Improvements	ST1504	Huitt-Zollars submitted the schematic design and COA provided comments.	TBD
	4	2014 Street and Alley Repair	ST1401	Awarded to Jim Bowman Construction. Original scope amended to include additional accessibility ramp, City Hall accessibility improvements, and other pavement modifications throughout the City.	Complete Fall 2015
	5	Alma Drive Widening (Hedgcoxe-SH121)	ST1503	ILA approved at the April 28th City Council Meeting. Commissioners Court approved at June 1st meeting. A public meeting was held for affected residents on June 18th. Design awarded July 14th.	Begin Summer 2016
	6	Ridgeview Drive (Watters - US75)	ST1202	No formal construction schedule. Awaiting development trends in this area.	TBD
	7	Ridgeview Drive (Alma through Stacy) Ph 1	ST1308	Bridge construction is anticipated to begin on 08/07/15.	Complete Fall 2015
	8	Montgomery Boulevard Extension	ST1403	McMahon has completed rough grading of the acceleration and deceleration lanes and have placed the asphalt course of the pavement section.	Complete March 2016
	9	FM 2551	ST0316	Design is being managed by Collin County to widen FM 2551 to six lanes. Project is awaiting funding agreements between the County, TxDOT and stakeholder Cities.	TBD
	10	Stacy Road, Ph 2 (Greenville - FM 1378)	ST0704 NTMWD	Roadway is a TxDOT project, currently planned to begin construction in Fall 2015.	Begin Fall 2015
UTILITIES	11	Bray Central Street Lights	JBGL	Developer, JBGL, Bray Central streetlights are currently being installed. 3 irrigation meters have been set along Bray Central and Exchange. Watters Road streetlights are in final design awaiting service locations from Oncor.	Complete Oct. 2016
	12	US 75 Widening	TXDOT	Addition of 2 general purpose lanes, selected ramp reversals, and intersection improvements.	Complete Oct. 2016
	13	Cottonwood Creek Wastewater Rehab	WA1501	No-DigTec was issued Notice to Proceed and mobilized on 08/03/15 and has begun laying out pipe to be fused together prior to their bursting operations.	Complete Fall 2015
	14	Fountain Park Water/SS Rehab, Ph 1	WA1403	Kodiak has completed the SS rehab on Rivercrest, Green Valley, and Lake Ridge. Kodiak mobilized a second crew to begin the Water rehab.	Complete November 2015
OTHER	15	SCADA System Upgrade	WA1402	Design is in progress. Scope has been added to the project extending the bid to late Summer 2015.	Complete Dec. 2015
	16	Cottonwood Creek Bank Stabilization	DR1401	Notice to Proceed will be issued on 08/17/15 and work anticipated to take 110 days.	Complete Fall 2015
	17	Olson & Beverly Elementary Sidewalk Improvements	ST1501	TxDOT to issue contracts for the project summer 2015. Once contracts are fully executed, TxDOT will review plans and be a participant of the bidding process.	Complete Summer 2016



The diagram illustrates the project lifecycle stages using colored lines and text labels:

- STATUS**: Represented by a black line segment.
- CONSTRUCTION**: Represented by an orange line segment.
- DESIGN**: Represented by a blue line segment.
- DESIGN (BY OTHERS)**: Represented by a red line segment.
- CONSTRUCTION (BY OTHERS)**: Represented by a green line segment.





**PLANNING AND ZONING
COMMISSION**

**Regular Meeting
July 21, 2015**

ATTENDANCE:

Commissioners Present:

Jeff Cocking, Chair
Ben Trahan, 2nd Vice-Chair
John Ogrizovich
Michael Orr
Stephen Platt, Jr.

Absent:

Shirley Mangrum, 1st Vice-Chair
Luke Hollingsworth

City Staff Present:

Ogden "Bo" Bass, AICP, Director of Community Development
Lee Battle, AICP, LEED AP, Assistant Planning Director
Shawn Poe, PE, Assistant Director of Engineering
Tiffany McLeod, Senior Planner
Madhuri Kulkarni, Planner
Kevin Laughlin, City Attorney

Call to Order and Announce a Quorum is Present:

With a quorum of the Commissioners present, Chairman Cocking called the meeting to order at 7:00 p.m. in the City Hall Council Chambers Room at Allen City Hall, 305 Century Parkway.

Director's Report

1. Action taken on the Planning & Zoning Commission items by City Council at the July 14, 2015, regular meeting attached.

Consent Agenda

2. Capital Improvement Plan CIP Status Report.
3. Approve minutes from the July 7, 2015, regular meeting.
4. Final Plat – Consider a Final Plat for Lots 1 - 4, Block 1, Twin Creeks Marketplace Addition. The property is 5.362± acres, located in the Catherine Parsons Survey, Abstract No. 711, City of Allen, Collin County, Texas; generally located at the southeast corner of Exchange Parkway and Alma Drive. (FP-6/9/15-35) [Twin Creeks Marketplace]

Motion: Upon a motion by Commissioner Platt, and a second by Commissioner Orr, the Commission voted 5 IN FAVOR, and 0 OPPOSED to approve the Consent Agenda.

The motion carried.

Regular Agenda

5. Replat/Public Hearing – Conduct a Public Hearing and consider a request for a Replat for Lots 2R & 3, Block 1, Allen Station Business Park II, being a Replat of Lot 2, Block 1, Allen Station Business Park, Phase II. The property is 6.728± acres located in the L.K. Pegues Survey, Abstract No. 702, City of Allen, Collin County, Texas; generally located north of Exchange Parkway and west of Andrews Parkway. (RP-6/9/15-36 [Caliber Collision])

Ms. Madhuri Kulkarni, Planner, presented to the Commission. She stated this is a public hearing and a replat for Caliber Collision.

The property is generally located north of Exchange Parkway, south of Cabela Drive, and west of Andrews Parkway, and is zoned Planned Development PD No.58 for Light Industrial LI. The property to the east and south is zoned Planned Development PD No. 58 for Light Industrial LI. The property to the north is zoned Planned Development PD No. 103 for Shopping Center SC. The property to the west is zoned Planned Development PD No. 45 for Corridor Commercial CC and Planned Development PD No. 58 for Shopping Center SC.

Ms. Kulkarni stated that the Replat is for 6.728 ± acres of land and divides the property into two (2) lots. A Site Plan for an Auto Body Shop use (Caliber Collision) is currently being reviewed by staff for the southern portion of the property. Replatting the property is the last step in the development process.

There are two (2) access points into this lot, both on Andrews Parkway through a Firelane, Access, and Utility Easement. The plat creates additional easements and dedicates right-of-way required for development.

The Replat has been reviewed by the Technical Review Committee, is consistent with the Site Plan, and meets the standards of the Allen Land Development Code.

Chairman Cocking opened the public hearing.

Chairman Cocking closed the public hearing.

Chairman Cocking referred to an existing automotive collision repair facility on Greenville Avenue and Prestige Circle and stated that parking for employees is an issue there as many vehicles are parked on the street. He hoped that parking was taken into consideration for this project.

Motion: Upon a motion by Commissioner Orr, and a second by 2nd Vice-Chair Trahan, the Commission voted 5 IN FAVOR, and 0 OPPOSED to approve the Replat for Lots 2R & 3, Block 1, Allen Station Business Park II, for 6.728± acres, generally located north of Exchange Parkway and west of Andrews Parkway, for Caliber Collision.

The motion carried.

6. Replat/Public Hearing – Conduct a Public Hearing and consider a request for a Replat for Lot 4R, Block A, Allen Watters, L.P. Addition, being a Replat of Lot 4, Block A, Allen Watters, L.P. Addition. The property is 1.175± acres, located in the Michael Lee Survey, Abstract No. 543, City of Allen, Collin County, Texas; generally located south of McDermott Drive and west of Watters Road. (RP-6/16/15-40) [Express Oil Change]

Ms. Madhuri Kulkarni, Planner, presented to the Commission. She stated this item is a public hearing and a replat for Express Oil Change.

The property is generally located southwest of the intersection of McDermott Drive and Watters Road, and is zoned Shopping Center SC. The properties to the north, west, and south are zoned Shopping Center SC. The property to the east (across Watters Road) is zoned Planned Development No. 55 for Commercial/Office C/O.

The Replat is for 1.175± acres of land for one (1) lot. The property is zoned Shopping Center SC. A Specific Use Permit for a Minor Automotive Repair use (Express Oil Change) was approved in May 2015. A Site Plan is currently being reviewed by staff. Replatting the property is the last step in the development process.

There are three (3) access points into the site; two (2) access points to the north through an existing Fire Lane and Access Easement, and one (1) access point to the south through an existing Firelane, Access, and Utility easement on the property to the south. The plat shows various easements and right-of-way dedication required for development.

The Replat has been reviewed by the Technical Review Committee, is consistent with the approved Specific Use Permit, Site Plan, and meets the standards of the Allen Land Development Code.

Chairman Cocking opened the public hearing.

Chairman Cocking closed the public hearing.

Motion: **Upon a motion by 2nd Vice-Chair Trahan, and a second by Commissioner Platt, the Commission voted 5 IN FAVOR, and 0 OPPOSED to approve the Replat for Lot 4R, Block A, Allen Watters, L.P. Addition, being 1.175± acres, generally located south of McDermott Drive and west of Watters Road, for Express Oil Change.**

The motion carried.

7. Public Hearing – Conduct a Public Hearing and consider a request to change the zoning to create a new Planned Development for Single-Family, Multi Family, Office and Retail Uses. The property is a 91.3± acre portion of land located in the Thomas G. Kennedy Survey, Abstract No. 500, City of Allen, Collin County, Texas; generally located north and south of Montgomery Boulevard and west of US Highway 75. (Z-2/4/15-4) [Montgomery Ridge Ph. 2]

Ms. Tiffany McLeod, Senior Planner, presented to the Commission. She stated this item is a public hearing to create a new PD for Montgomery Ridge Ph. 2.

Ms. McLeod stated that the subject property is approximately 91.3 acres and currently zoned PD-74, O. It is located west of US 75, South of Bethany Dr. and once Montgomery Blvd. is completed, it will be located North and South of Montgomery Blvd.

The property to the north is zoned Planned Development PD No. 76 Townhome Residential (TH). The property to the east is zoned Planned Development PD No. 99 Mixed Use (MIX) and Planned Development PD No. 66 Corridor Commercial (CC). The property to the south is zoned Floodplain – Community Facilities (FP-CF) and Agriculture Open Space AO. The property to the west is zoned Planned Development PD No. 74 Single Family Residential R-7.

Ms. McLeod stated that the Montgomery Ridge Development Plan was introduced to the Planning and Zoning Commission in July of last year. The plan features a unique, mixed-use community with single-family, multi-family, office, retail, and commercial uses organically oriented into pedestrian-oriented environment. Phase I has been approved by the Council, and established standards such as lot layout, street design and classification, landscape requirements, architectural styles and patterns, building materials, and flexible design standards.

This request is to transition to Phase II. The plan subdivides the 91 acres into various character zones that transition from lower density residential to higher density residential to commercial from west to east (as the property west of the site is single-family residential and east of the site is the US 75 commercial corridor).

There are four different character zones:

Neighborhood Ph. 2 Zone –

The neighborhood zone is a continuation of Montgomery Ridge Phase I. It is single-family residential detached with front and rear entry products. There are 61 lots that range from 50' to 60' wide lots.

Transition Zone –

The transition zone includes higher density residential. There are 32 townhomes with minimum lot size of 1800 square feet for a townhome lot. Multi-family residential is also a part of the transition zone and will include structured parking with 3 to 5 stories in height.

Mixed-Use Residential Zone –

Ms. McLeod stated that one of the goals for the PD is to grant the applicant enough flexibility to keep up with market demands and still maintain a level of land use control and design consistency. Staff believes that this has been achieved through the development standards in the mixed-use areas. The mixed-use residential zone is intended for multifamily residential but also with the potential for retail and commercial uses. At least 50% of the first floor units that will border Montgomery Blvd. and wrap to Street 5 will be retail ready. These spaces will have 14' clear ceilings and mechanical chases and devices installed to provide an easy conversion from residential to retail space (for greater flexibility). Ms. McLeod gave an example of the new building in Watters Creek which is also retail ready. Structured parking is provided for this area as well.

Mixed Use Employment Zone –

The Mixed Use Employment area is intended for Office and Commercial uses. Residential uses in this area would be required to obtain a Specific Use Permit. Multiple multi-story buildings with structured parking are shown on the plan.

Mixed Use Flex Zone –

The last character zone is the Mixed-Use Flex area – there are two such areas identified on the plan. One is labeled as Block A on the northern end of the property, and the other is labeled Block B and located on the southern end of the property. These areas will either develop residentially (as shown on the plan) or as mixed use employment (for the Block A portion) and mixed-use residential and/or employment (for the Block B portion).

The character zones encompass 60% of the 91-acre property. The remaining acreage consists of floodplain and open space. The applicant has also provided a trail network through the development both within the property boundary as well as outside of the property boundary. The finalized network will provide connectivity to Montgomery Ridge Phase I, Watters Creek through a pedestrian bridge, and ultimately connect to the Six Cities Trail.

Ms. McLeod stated that street design for majority of the streets and alleys proposed in the development were vetted and established during Phase I. Montgomery Boulevard, as a reminder, is to be a four-lane divided roadway that will connect from Bethany Drive to US 75; with the completion timing in March 2016. This will be the main access point to the development. The internal streets will be two lanes with parking provided on one side of the street or parking provided on both sides of the street depending on the street classification (neighborhood street or a mixed-use street). Regarding streetscape, there are street tree requirements within a 9.5' landscape strip as well as a wide sidewalk on both sides of the streets.

Ms. McLeod presented the elevations and architectural styles planned for and stated the residential examples are identical to Montgomery Ridge Phase I. The mixed-use building style is being added as part of Phase II. All of the building materials generally will be brick, stone, stucco, and cement siding.

The proposed development regulations establish the uses and design standards for the development. It establishes the base zoning for each of the character zones – single-family residential, multifamily residential, and corridor commercial. Flexible design standards were introduced in Montgomery Ridge Phase I. Additional flexible design standards are being added to Phase II for flexibility on lot coverage, lot widths on cul-de-sac, and mixed-use street width. The character zones with the uses permitted, dimensional standards and street classifications are established through the development regulations. Building materials, streetscape and landscape standards, and floodplain reconfiguration requirements are also listed in the development regulations.

Ms. McLeod mentioned that this project has been reviewed by the Technical Review Committee which includes a representative from the school district. Phase II is consistent with the overall plan that was initially introduced for Montgomery Ridge Phase I. It is also consistent with the Comprehensive Plan which describes this area as a mix of residential and commercial uses for a live, work, play lifestyle.

Bill Dahlstrom, 901 Main St., Suite 6000, Dallas, Texas, applicant, presented to the Commission. He stated that they will provide a unique, mixed-use development with diverse housing as well as retail and commercial services within a pedestrian-oriented environment. He explained that this project is consistent with the original vision of the development. The west side includes the single-family homes and the east side, across the ridge, transitions to more intensive type uses. The key in this development is the diverse housing types, connectivity within the development and with external uses, as well as the traffic spine of Montgomery Boulevard through the site. This site is located strategically to provide an opportunity to allow surrounding uses to be more successful, such as Watters Creek and eventually the Allen Central Park.

Mr. Dahlstrom commented they will be providing a variety of housing types for people in the immediate community and that will help the local environment. Mr. Dahlstrom stated they are proposing a mix of housing types and uses in a pedestrian environment with trails and pocket parks within a block of every

home. The open space that will be provided within the mixed use areas is not clearly shown on the Concept Plan, but will be provided and more clearly shown in a detailed site plan that will have to be submitted. He mentioned that they have worked closely with the Parks Department to provide not just internal trails but also the City's regional trail system. This is really important as a part of the overall concept to provide the pedestrian connectivity. They worked with the Park's Department to provide a substantial amount of land for the trail system and open space. Additionally, Mr. Dahlstrom stated that he believes it is important to set the stage for this high quality development by providing a high quality entrance into the property through the design of Montgomery Boulevard, which will include landscaping and a round-about. He concluded by stating that this project allows flexibility to adjust to market demands and it also provides the necessary regulations for the predictability for each of the character zones.

Mr. Ogrizovich stated that there is so much in this project, and wanted to know if the applicants had an idea of what would be built first.

Mr. Dahlstrom stated that the first part of the development will be the Mixed-Use residential area.

Chairman Cocking opened the public hearing.

Chairman Cocking closed the public hearing.

Commissioner Trahan stated that every question he had was answered and that everything else would come with time.

Commissioner Platt commented that this project is well thought out and that the details have been covered.

Commissioner Orr commented that this project is something Allen can use. He sought clarification on the phasing of Montgomery Boulevard.

Mr. Poe stated that Montgomery Boulevard is under design and it is planned to be opened in March of 2016. This includes the entire stretch from Bethany Drive to the US 75 service road.

Commissioner Ogrizovich asked if it connecting to the feeder road. Mr. Poe replied that it is connecting to the south-bound frontage road.

Commissioner Ogrizovich asked about the distance and time it will take to get onto US 75 as people are coming out of Watters Creek.

Mr. Poe stated that with the US 75 expansion the ramp further south will be relocated; which will be fairly close to where the Montgomery Boulevard connection is going to occur. People can turn right on the Frontage Road and they will have to go to Legacy Drive to get onto US 75.

Chairman Cocking asked if there are any stop lights before Spring Creek Parkway. Mr. Poe stated there are no stop lights.

Commissioner Trahan commented that they have reconfigured the US 75 interchange to where it is a more direct flow from Allen.

Chairman Cocking asked if the townhome lots shown in the transition zone would be substituted for 5-story multifamily. The zoning states that multifamily is permitted where the 32 townhome lots are shown.

Ms. McLeod stated that the use chart does permit the multi-family use in the transition zone, but there are the development regulations and also the Concept Plan. There are dimensional setbacks, lot coverage, and parking requirements that have to be adhered to. If there is any other development other than townhomes, it would be small lot detached products, not multifamily.

Chairman Cocking stated that he is concerned with the ability to put multifamily along the townhome strip. If that becomes multifamily then there would be a 5-story residential building backing to single-family homes. He does not see any limitations on the regulations that states there cannot be any multifamily homes in that strip.

Ms. McLeod stated that multifamily use is permitted in the transition zone but per the dimensional standards, parking requirements and the layout shown on the Concept Plan multifamily would not fit in that strip. That area is intended for attached single-family or detached single-family.

Chairman Cocking stated that a 5-story building is shown in the Mixed Use Employment zone along a very similar size strip. He has several concerns with 5-story buildings adjacent to single-family; which has not been done anywhere else in the City.

Ms. McLeod stated that this project is very unique to Allen and a true mixed development. It all comes down to what fits within the space provided. She reiterated that the Concept Plan shows attached single-family, not multi-family. With setbacks, parking requirements and open space requirements that must fit in that area multi-family is not forecasted.

Chairman Cocking stated that the Concept Plan does show townhome lots, but multi-family is a permitted use.

Mr. Dahlstrom stated that the Concept Plan will be part of the ordinance and in order to change that area to multifamily the property would have to be rezoned.

Commissioner Trahan asked if the Chair wanted to excise the permitted use and memorialize that in the motion. Chairman Cocking said no.

Chairman Cocking stated he just has some height concerns with townhomes adjacent to a 5-story building. The front door of a person's townhome will open up to a 5-story multifamily facility. This is not common in Allen. It is interesting because any place where multifamily is placed it has to be 5 stories.

Ms. McLeod stated that is the maximum building height and there is also a minimum.

Mr. Dahlstrom stated the height is intended to be a maximum of 5 stories.

Chairman Cocking focused on the transition zone around Street 6, which is the road on the south side of the transition zone. There are 3-story buildings proposed, and that is not a concern. However, there is the potential for a 5-story building. He asked whether anyone would buy a single-family home with a 5-story building across the street.

Mr. Dahlstrom stated that there is market receptivity and several single-family developers interested in this development knowing that there is multifamily across the street. The 5-story is also a matter of quality. The height is needed in order to provide the quality, amenities, open space, and structured parking.

Chairman Cocking stated that with greater height, typically the setbacks increase as well. He did state, though, that he liked the concept.

Tom Field, 1600 North Collins, Richardson, Texas, spoke to the Commission. He stated that he has been working several years on the project with the family. There is a significant slope that runs where the townhomes are. The ridge slopes dramatically down to the east and it will take away the height “feeling” because of the dramatic slope. He commented that the family wants a unique streetscape and a different feeling other than a traditional suburban product. They are trying to create greater walkability. People want interest when walking – hence open space, street trees, etc. to drive people out of the cars. This development would create a sense of place.

Mr. Dahlstrom stated the single-family homes (depending on the street) would be 74’ to 84’ away from the multifamily building.

Mr. Field offered that the 5-story can be limited to the Montgomery Boulevard frontage. Montgomery Boulevard could be 5 stories, but all of the other minor streets would be reduced to 4 story maximum.

Chairman Cocking stated that mixed-use across from single-family residences is where he would like to see that height limitation. It would reduce the height difference.

Mr. Field said they would be comfortable with that – to have 4 stories everywhere except Montgomery Boulevard.

Chairman Cocking stated that he is concerned with the height for the mixed-use employment. That building also has the potential to be 5 stories which is adjacent to townhomes (north of this proposal).

Mr. Leland Montgomery stated that he grew up on the property and is very familiar with it. He pointed out the ridge and stated it runs through the property. Height considerations were made and it is intended for residential uses to be on the west side of the ridge with more intense uses on the east side of the ridge. The slope is 8% and quite steep. As you move east along the northern border, a dramatic drop off occurs so that the property to the north (which is currently owned by Montgomery Farm) maintains its relative height but this property drops off to the creek. The height difference is as much as 12’ extending to almost 20’. He thinks that someone may have filled it in over the years to create a more level structure. There is a substantial amount of height differential in the plan.

Chairman Cocking asked how the building is measured when there is a slope.

Mr. Bass, Director of Community Development, answered that it depends and the point of measurement is flexible. It may be measured from the ground floor, adjacent land use grade, or adjacent road grade. There is no fixed way to do it. From a building permit’s perspective, height is measured from the base plate to the top plate. In terms of land design, there is a degree of latitude.

Chairman Cocking suggested there needs to be more clarity before taking this to City Council. He likes that there is concession on reducing the height adjacent to single-family development.

Chairman Cocking then asked about trails and the timing of trails.

Mr. Dahlstrom replied that they are working with the Parks Department. The trails would be built at the time of platting.

Chairman Cocking asked about the plans for green space for the multifamily mixed use area. Multifamily is challenging to put on the ground yet that has the highest need for green space as there are more people. The lack of green space is common in urban areas. He expressed concern as it is not shown on the Concept Plan.

Mr. Dahlstrom said there is a certain amount of open space already proposed for the 7.9 acres and it equates to “X” number of units for the entire property. They would have to supplement the open space for each of the multifamily block to provide for the requirement per the Code.

Mr. Bass added that there is a standard in the ALDC that for every 75 units, 1 acre of open space is required. Parks has the authority to negotiate. In exchange for structured parking, urban architecture and integrated trails, the total acreage may not be received – but instead, perhaps more trees are planted (as an example). This is a 91-acre project. The multifamily component does not show the open spaces, but the site plan will show that amount.

Commissioner Orr asked about the area north of Maverick Drive and asked if that concept is just a suggestion or a real configuration – he checked whether variations to the height, number of buildings, etc. is a possibility.

Ms. McLeod said yes – this is a conceptual plan for all mixed-use zones. Each character zone will ultimately have to go through the Site Plan process.

Chairman Cocking stated the buildings there will be for employment only, which can be 3 to 5 stories.

Commissioner Ogrizovich asked if they are limited to 3 to 5 stories.

Mr. Bass stated that the ordinance will have a minimum 3 story and maximum 5 story requirement. Anything outside of that will have to be reconsidered at a public hearing with a PD amendment.

Commissioner Orr stated it is hard to get a 3-dimensional view of how that fits within the geography of the land. The height won’t be as impactful if the ground is lower.

Mr. Bass commented that one of the unique aspects of this plan is the ridge where there is clear demarcation. There is a natural landform that is being taken advantage of.

Commissioner Ogrizovich confirmed that the property to the north is where the Montgomery Boulevard pavement stops.

Motion: **Upon a motion by Commissioner Ogrizovich, and a second by Commissioner Orr, the Commission voted 5 IN FAVOR, and 0 OPPOSED to recommend approval of the request to create a new Planned Development for Single-Family, Multi-Family, Office and Retail Uses, and adopt a Concept Plan, Development Regulations, and Building Elevations for a 91.3± acre portion of land generally located north and south of Montgomery Boulevard and west of US Highway 75 for Montgomery Ridge Phase 2, with the stipulation that the maximum building height is 4 stories for any buildings across the street from an area zoned for single-family.**

The motion carried.

Adjournment

The meeting adjourned at 8:07p.m.

These minutes approved this _____ day of _____ 2015.

Jeff Cocking, Chairman

Madhuri Kulkarni, Planner

Director's Report from 7/14/2015 City Council Meeting

- The request to adopt an Ordinance to amend Specific Use Permit No. 129 relating to the identity of the Owner/Operator of the business authorized to operate under this Specific Use Permit for the property located at 909 W. Stacy Road for Emler Swim School, was approved.

PLANNING & ZONING COMMISSION AGENDA COMMUNICATION

AGENDA DATE:

August 18, 2015

SUBJECT:

Request for Extension – Consider a request for a 60-day extension to file the Final Plat for Allen Center North Addition, Lot 6, Block A, being 1.9480± acres located in the James T. Roberts Survey, Abstract No. 777, City of Allen, Collin County, Texas; generally located south of Stacy Road and east of Greenville Avenue. (FP-4/17/15-21) [Allen Center North Addition]

STAFF RESOURCE:

Madhuri Kulkarni
Planner

PREVIOUS COMMISSION/COUNCIL ACTION:

General Development Plan – Approved October, 2003
Preliminary Plat – Approved with Conditions November, 2003
Revised Preliminary Plat – Approved August, 2008
Revised Preliminary Plat – Approved July, 2011
Revised General Development Plan – Approved December, 2014
Final Plat - Approved May, 2015

BACKGROUND

The Allen Land Development Code, Section 8.03.4, paragraph 5, states that a Final Plat/Replat shall expire if not filed of record within 90 days of approval. However the Planning & Zoning Commission, at its discretion, may grant an extension of time not to exceed sixty (60) days.

The Final Plat for Allen Center North Addition Lot 6, Block A, was approved on May 19, 2015. The applicant has submitted a request for a 60-day extension of approval to allow more time to finalize the Plat for recording purposes. With this extension the Final Plat would expire on October 17, 2015.

STAFF RECOMMENDATION

Staff recommends approval of the 60-day extension of the Final Plat to October 17, 2015.

RECOMMENDED MOTION

I make a motion to approve the 60-day extension for recording the Final Plat for Allen Center North Addition, Lot 6, Block A.

ATTACHMENTS

Letter from applicant requesting extension

B | BURGER
ENGINEERING
Civil Consultants

August 7, 2015

Ms. Madhuri Kulkarni
City of Allen
305 Century Parkway
Allen, Texas 75013

Re: 60 Day Extension for Final Plat
Lot 6, Block A – Allen Center North Addition
B.E. No. 007-060

Dear Ms. Kulkarni,

We would like to request a 60 day extension for the final plat of Lot 6, Block A – Allen Center North Addition. The extension is being requested because coordination with Walgreens for approval of the separate instrument easements is still ongoing, and therefore, recording information for these easements cannot be illustrated on the final plat.

Sincerely,



Bryan M. Burger, P.E.

PLANNING & ZONING COMMISSION AGENDA COMMUNICATION

AGENDA DATE:	August 18, 2015
SUBJECT:	Public Hearing – Conduct a Public Hearing and consider a request to amend the development regulations of Planned Development No. 108 and adopt a Concept Plan and Building Elevations relating to an 8.142± acre portion of Lot 1-R-1, Block F, Bray Central One Addition, City of Allen, Collin County, Texas, generally located at the southeast corner of the intersection of Raintree Circle and Junction Drive. (Z-5/18/15-27) [Alders at Twin Creeks]
STAFF RESOURCE:	Madhuri Kulkarni Planner
PREVIOUS COMMISSION/COUNCIL ACTION:	PD 108 Approved – October, 2011
LEGAL NOTICES:	Public Hearing Sign – August 5, 2015 Public Hearing Notices – August 7, 2015
ANTICIPATED COUNCIL DATE:	September 8, 2015

BACKGROUND

The property is located at the southeast corner of the intersection of Raintree Circle and Junction Drive. The properties to the north (across Raintree Circle) and south are zoned Planned Development PD No. 54 Industrial Technology (IT). The properties to the west (across Junction Drive), are zoned Planned Development PD No. 54 Industrial Technology (IT) and Planned Development PD No. 108 Mixed-Use (MIX). The property to the east is zoned Planned Development PD No. 108 Mixed-Use (MIX).

The property is currently zoned Planned Development PD No. 108 Mixed-Use (MIX). The applicant is requesting to amend the development regulations to allow a Senior Independent Living use and adopt a concept plan and building elevations for the property.

The proposed development is approximately 8.142± acres. The attached Concept Plan shows a four-story approximately 260,000 square foot building with 243 total units (comprising of 164 one-bedroom and 79 two-bedroom units). The density equates to 29.8 units/acre, which complies with standards of PD-108.

Screening for the property, as listed in the Development Regulations and shown on the Concept Plan, will consist of an 8' metal fence with 2' masonry columns to be built along the eastern property line. An 8' foot masonry wall is to be built on the southern property line. The screening on the southeastern property line will consist of a combination of a detached garage structure, a trash enclosure structure, and an eight foot (8') masonry wall.

Approximately 1.52± acres of open space is provided on the site. A hike and bike trail will be provided along Raintree Circle and a 5' sidewalk will be constructed along Junction Drive. Park benches will be provided along both the sidewalk and the trail.

PD-108 allows civic space to count towards the open space requirements. For this project, civic space is provided through enhancements made to the existing open space/detention area located east of the property (Lot 6, Block F, Bray Central One Addition) as shown on the Civic Space Improvement Plan. Improvements include additional street furniture, shade structures, and a walking trail along with repairing existing

infrastructure. Maintenance responsibility for the civic space will be shared between this property and surrounding properties through a future maintenance agreement. The connection point between the site and the open space/detention area will include enhanced paving at the crosswalk, a park canopy, and landscaping to create a prominent focal point.

The proposed parking ratio, as listed in the Development Regulations, is at 1.44 spaces per unit. A total of 351 parking spaces are provided as surface spaces, covered carports, detached and attached garages.

There are three (3) access points into the development. There is one (1) access point on Raintree Circle and one (1) access point on Junction Drive. An access point is also provided on the southwestern portion of the property through an existing Firelane, Access, and Utility Easement on the adjacent property.

The development regulations include design standards to establish the Planned Development. These include establishing the Senior Independent Living use, requirements for the associated deed restrictions, and modifications to screening, parking, and setbacks.

The primary building materials, shown on the attached Building Elevations, are brick, stone, and stucco. Roof materials include both standing seam metal roofing and composite roof shingles.

The request has been reviewed by the Technical Review Committee.

STAFF RECOMMENDATION

Staff recommends approval.

MOTION

I make a motion to recommend approval of the request to amend the development regulations of Planned Development No. 108 and adopt a Concept Plan and Building Elevations relating to an 8.142± acre portion of Lot 1-R-1, Block F, Bray Central One Addition, City of Allen, Collin County, Texas, generally located at the southeast corner of the intersection of Raintree Circle and Junction Drive for the Alders at Twin Creeks.

ATTACHMENTS

Property Notification Map
Development Regulations
Concept Plan
Black and White and Color Building Elevations
Example of Carport
Detached Garage Elevation
Civic Space Improvement Plan
Civic Space Improvement Rendering
Example of Park Canopy

DRAFT OF PROPOSED DEVELOPMENT REGULATIONS FOR ALDERS AT TWIN CREEKS

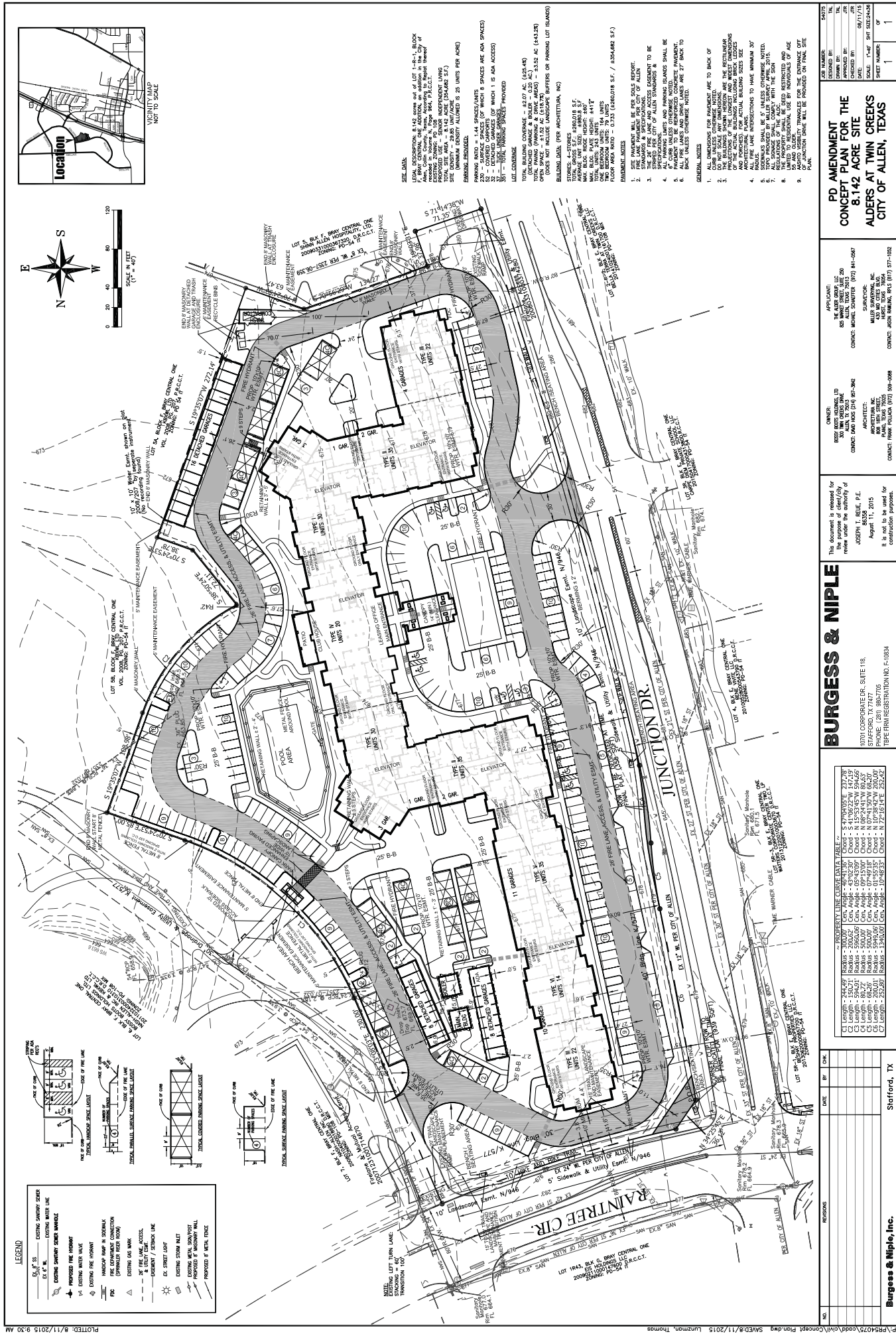
The Property shall be developed and used in accordance with the applicable provisions of the Allen Land Development Code, as amended, (“ALDC”) except to the extent modified by the Development Regulations set forth below:

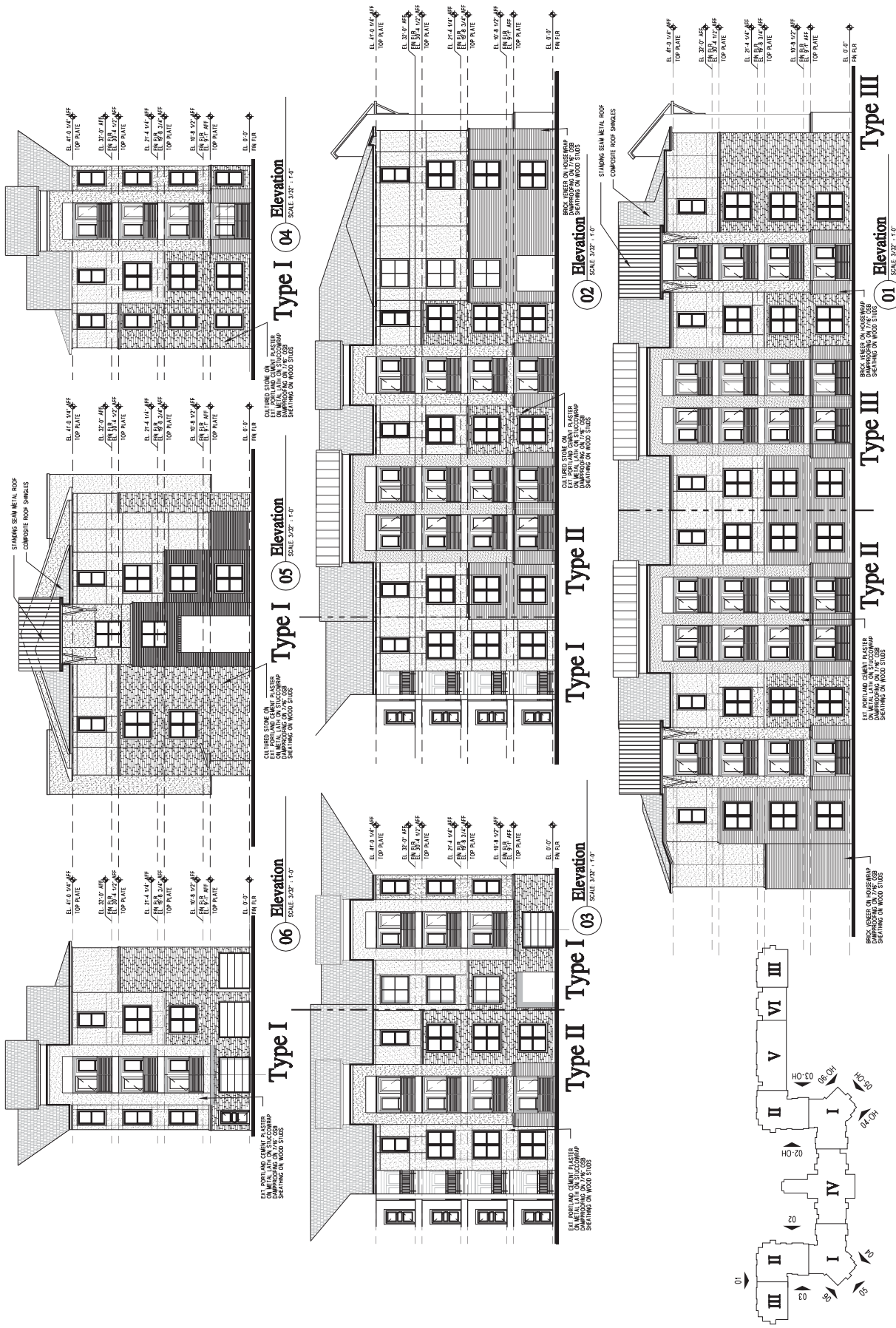
- A. BASE ZONING DISTRICT:** The Property shall be developed and used only in accordance with the development regulations within District E of the Twin Creeks Urban Center Planned Development PD No. 108 ordinance and the standards of the Allen Land Development Code (“ALDC”), except as otherwise provided herein.
- B. PERMITTED USE:** Senior Independent Living shall be a permitted use on the Property in addition to the permitted uses set forth in Table 1: *Schedule of Principal Uses* in Exhibit “B” to Ordinance No. 3044-10-11, as amended (“the PD-108 Ordinance”).
- C. DEED RESTRICTIONS:** Prior to or concurrently with the recording of a plat for the Property, the owner of the Property shall establish a restrictive covenant on the Property by executing and recording an instrument approved by the City Attorney pursuant to which the Property shall be limited to residential uses by people 55 years of age or older consistent with the Federal Fair Housing Act and other applicable law.
- D. CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit “A” and incorporated herein by reference. Minor modifications to streets that do not alter the general alignment shown on the Concept Plan may be made at the time of Site Plan approval.
- E. BUILDING ELEVATIONS:** The Property shall be developed in general conformance with the Building Elevations attached hereto as Exhibit “B”, and incorporated herein by reference.
- F. CIVIC SPACE:** The requirement for providing Civic Space in relation to the development and use of the Property as required by Section 3.3 of the PD-108 Ordinance may be satisfied by the development of improvements on Lot 6, Block F, Bray Central One Addition (“Lot 6”) in general conformance with the Civic Space Improvement Plan (“the Civic Space Improvements”) attached hereto as Exhibit “C,” and incorporated herein by reference, but only if the owner of Lot 6 and the owner of the Property enter into an agreement (“the Civic Space Easement”) which includes, as a minimum:
 - 1. The grant of a perpetual, non-exclusive easement to the owners and occupants of the Property to use Lot 6 for recreational purposes;
 - 2. The right and perpetual obligation of the owner of the Property, either solely or in conjunction with others, which may include, but not be limited to, the owner of Lot 6 to construct, maintain, repair, and replace the Civic Space Improvements on Lot 6; and
 - 3. Provisions relating to the manner in which costs for maintaining and repairing the Civic Space Improvements will be allocated among the parties to the Civic Space Easement.

Plat approval for the Property shall not be granted until the Civic Space Easement has been approved as to form by the City Attorney, signed by the owners of the Property and Lot 6 in a manner that allows the recording of the Civic Space Easement, and the Civic Space Easement is recorded in the Real Property Records of Collin County, Texas. No certificate of occupancy for

any building on the Property shall be granted until construction or installation of the Civic Space Improvements is completed.

- G. SCREENING:** The screening for the Property shall consist of an eight foot (8.0') metal fence with two foot (2.0') wide masonry columns along the eastern property line and an eight foot (8.0') masonry wall on the southern property line. The screening on the southeastern property line will consist of a combination of a detached garage structure, a trash enclosure structure, and an eight foot (8.0') masonry wall.
- H. PARKING:** The Parking ratio shall be 1.44 spaces per unit.
- I. SETBACKS:** The building and accessory structures on the Property shall be set back from the property boundaries as shown on attached Concept Plan.





The Alders at
Twin Creeks
Allen, Texas

The Alders at
Twin Creeks LLC
825 Market Street, Suite 260
Allen, Texas 75013

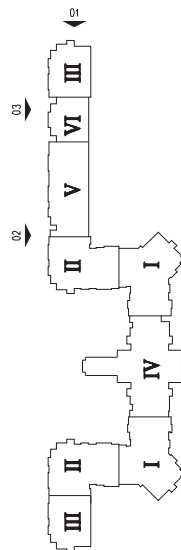
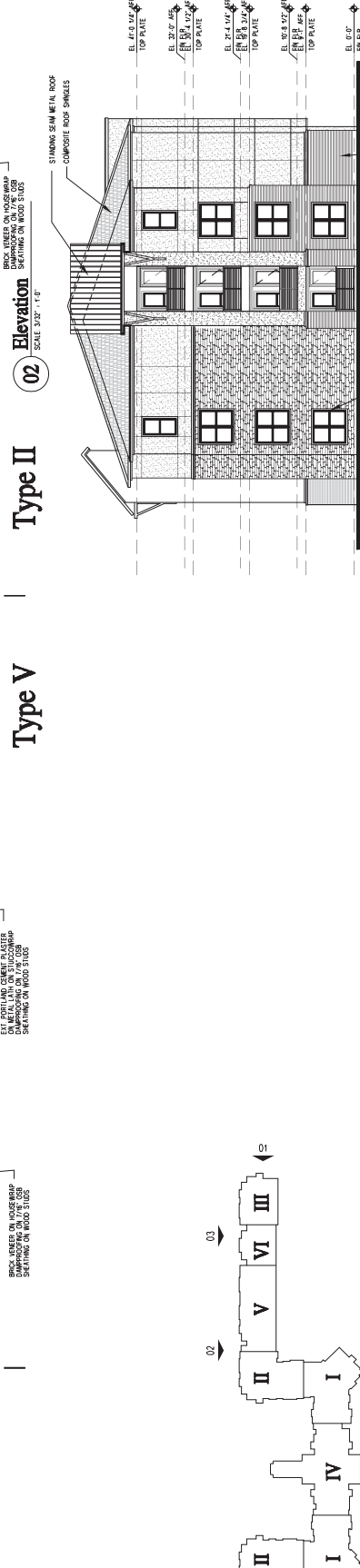
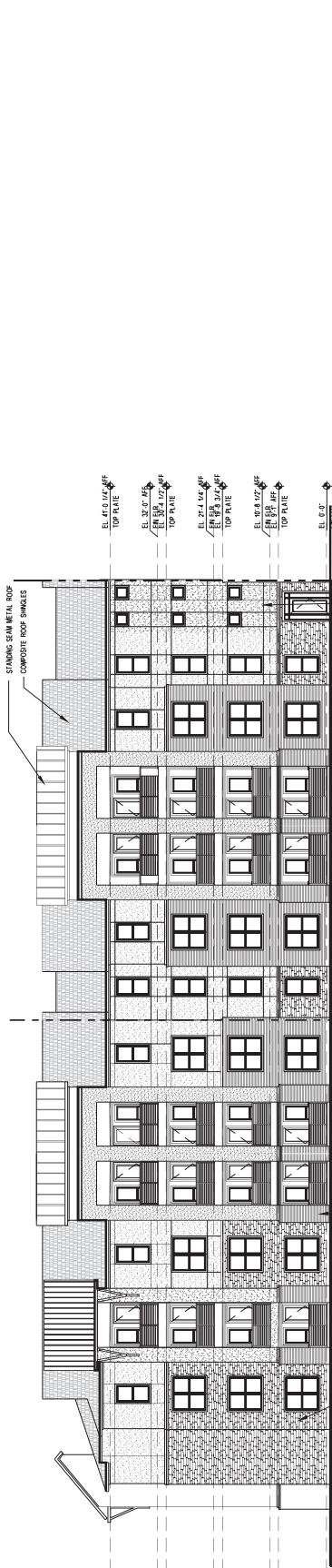
architectural
808 1814 St.
P.O. Box 1488
Allen, Texas 75009
972.509.0022
polacia@architectural-inc.com

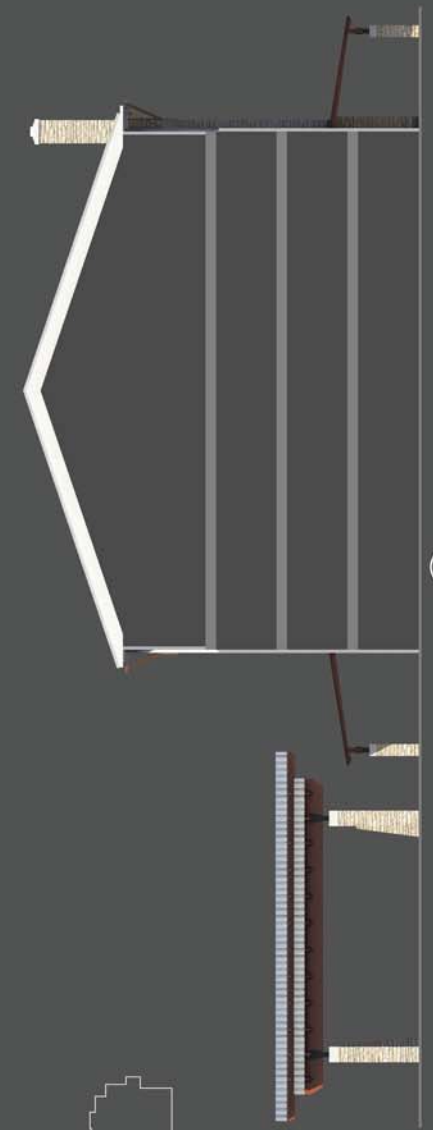
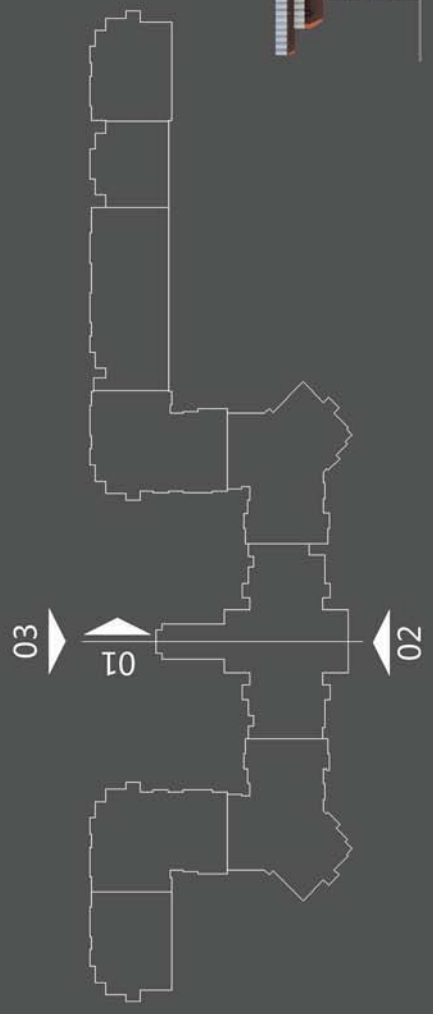


Project No. 15004
Issue Drawing Log
03 May 2015 Revise

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will result in legal action.

Sheet Title:
Elevations
Drawing No.
A4.03







06



05



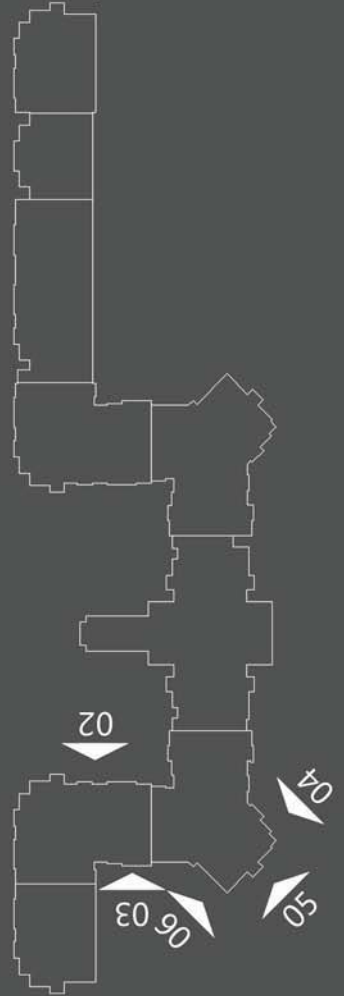
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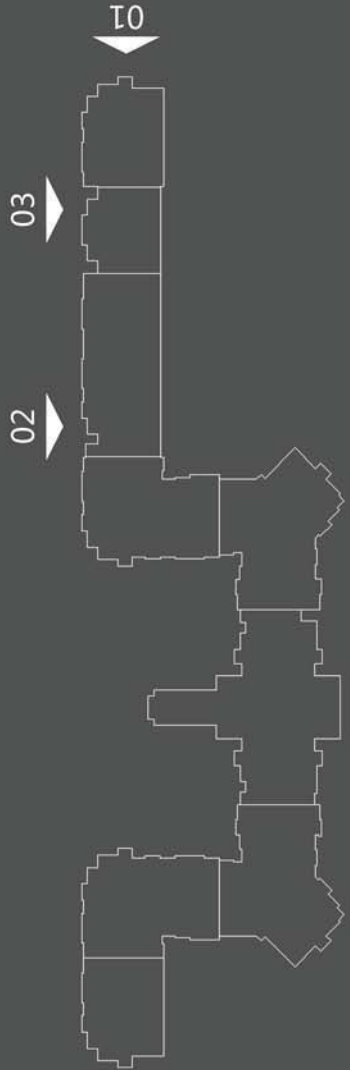
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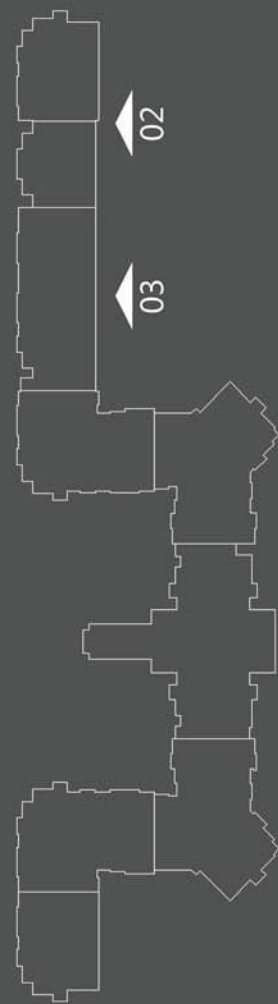
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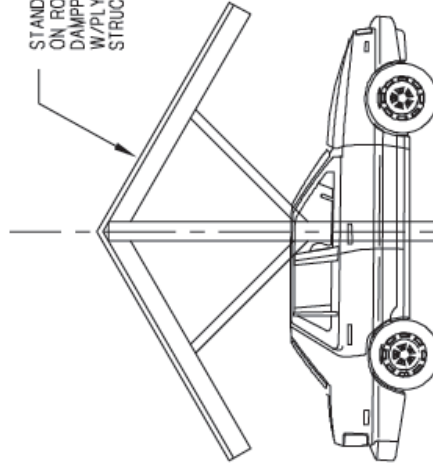
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CARPORT



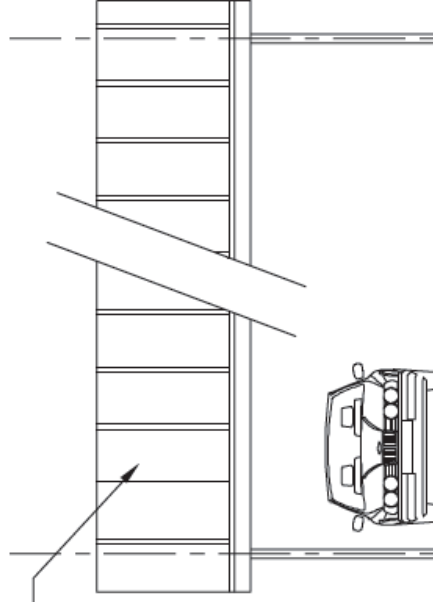
16 Car Port Structure

SCALE: 1/4" = 1'-0"

FINISH: STANDING SEAM METAL ROOF SYSTEM ON ROSIN SLIP SHEET ON BUILDING FELT DAMPROOFING ON 7/16" OSB DECKING W/PLY-CLIPS ON PRE-ENGINEERED SUPPORT STRUCTURE



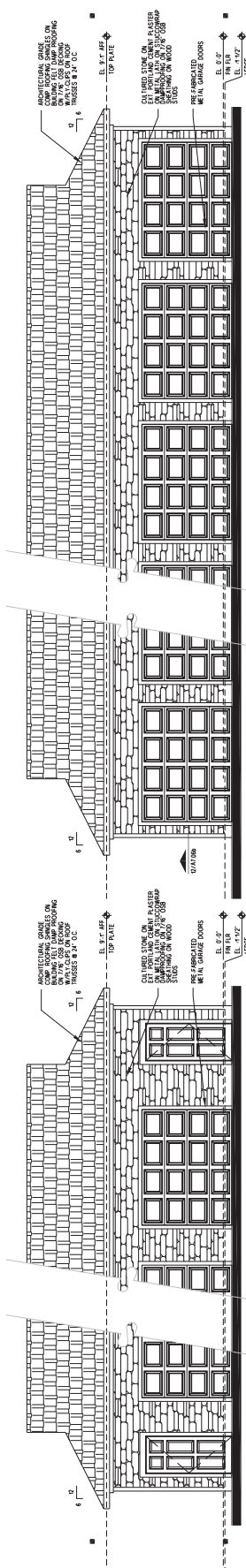
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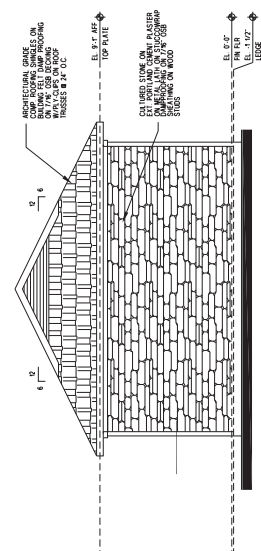
15 Car Port Structure

SCALE: 1/4" = 1'-0"

FINISH: STANDING SEAM METAL ROOF SYSTEM ON ROSIN SLIP SHEET ON BUILDING FELT DAMPROOFING ON 7/16" OSB DECKING W/PLY-CLIPS ON PRE-ENGINEERED SUPPORT STRUCTURE



12 Detached Garage Elevation - HC 4 Bay
SCALE 1/4" = 1'-0"



08 Typ. Detached Garage Elevation - Side
SCALE 1/4" = 1'-0"

09 Detached Garage Elevation
SCALE 1/4" = 1'-0"

The Alders at
Twin Creeks
Allen, Texas

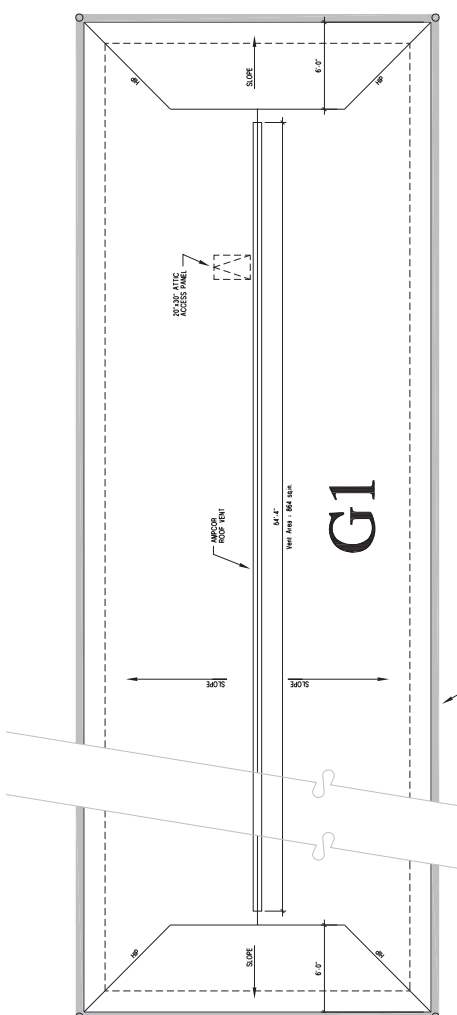
The Alders at
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805 Market Street, Suite 250
Allen, Texas 75013

architectural inc.
808 18th St.
Plano, Texas 75074
1.972.509.0081, 1.972.509.0022
pollacia@architectural-inc.com

Project No. 150004
Issue Drawing Log
03 May 2015 Issues

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Garage Building
Drawing No. A8.01c



01 Typ. Detached Garage Roof Plan
SCALE 1/4" = 1'-0"

Roof Symbols

1	UPPER ROOF VENT AT 9' 50" IN
2	DOWN ROOF VENT AT 9' 50" IN
3	UPPER ROOF VENT AT 9' 50" IN
4	DOWN ROOF VENT AT 9' 50" IN
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99	UPPER ROOF VENT AT 9' 50" IN
100	DOWN ROOF VENT AT 9' 50" IN

VENTILATION

TOTAL VENTILATION REQUIRED	100.00
UPPER VENTILATION REQUIRED	100.00
LOWER VENTILATION REQUIRED	100.00
TOTAL VENTILATION PROVIDED	100.00
UPPER VENTILATION PROVIDED	100.00
LOWER VENTILATION PROVIDED	100.00

REVISIONS	COMMENTS

DATE: _____



ALDER AT TWIN CREEKS TWIN CREEKS PARK IMPROVEMENTS ALLEN, TEXAS

SCALE: 0 60 90

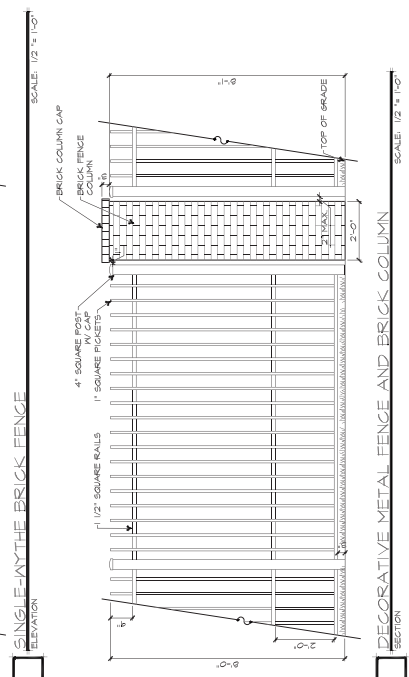
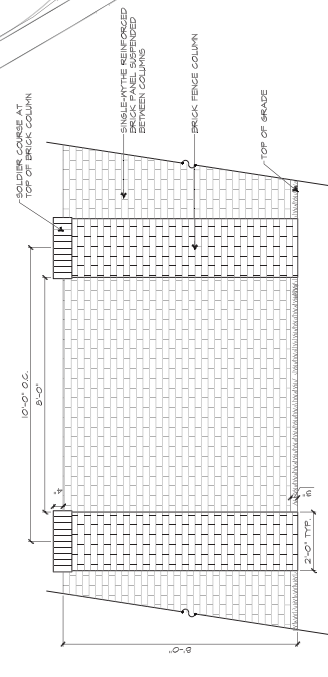
DATE: 06/02/15



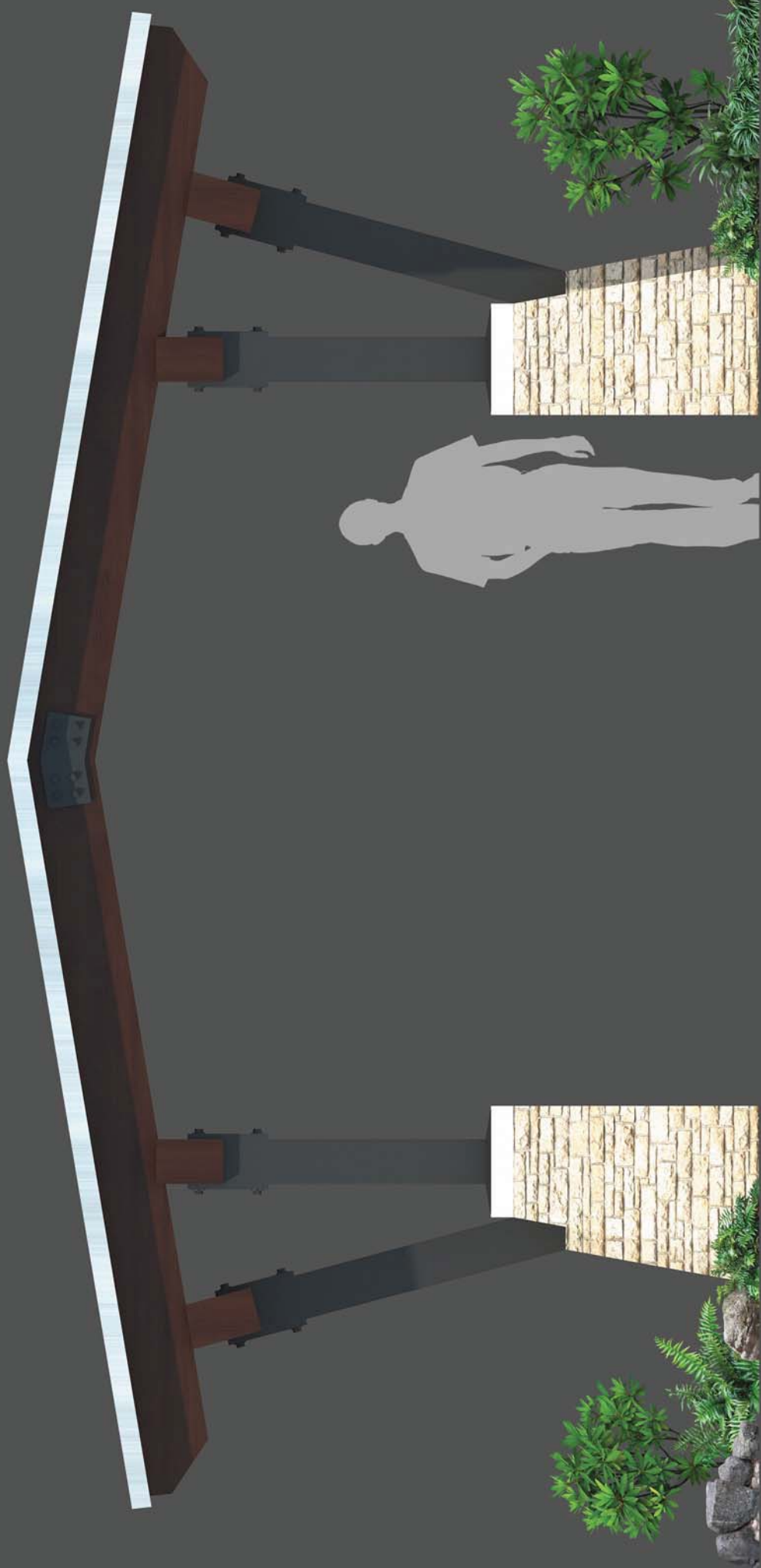
L0.01
PROJECT # 045-01



NOTE: This plan is for conceptual purposes only. Actual existing and proposed conditions may vary.



[illegible]



Rear Canopy

PLANNING & ZONING COMMISSION AGENDA COMMUNICATION
--

AGENDA DATE: August 18, 2015

SUBJECT: 2016-2020 Capital Improvement Program Presentation

STAFF RESOURCE: Tim Porter
Project Manager

Brian Bristow, RLA
Assistant Director of Parks and Recreation

PREVIOUS ACTION: None

BACKGROUND

The Planning and Zoning Commission acts in an advisory capacity for the City Council and makes a recommendation regarding approval of the Capital Improvement Program (CIP) each year. In preparation for this recommendation, staff distributed a copy of the 2016-2020 Capital Improvement Program Report on Monday August 3, 2015. Staff will provide an overview and presentation of the 2016-2020 CIP Report at this meeting.

STAFF RECOMMENDATION

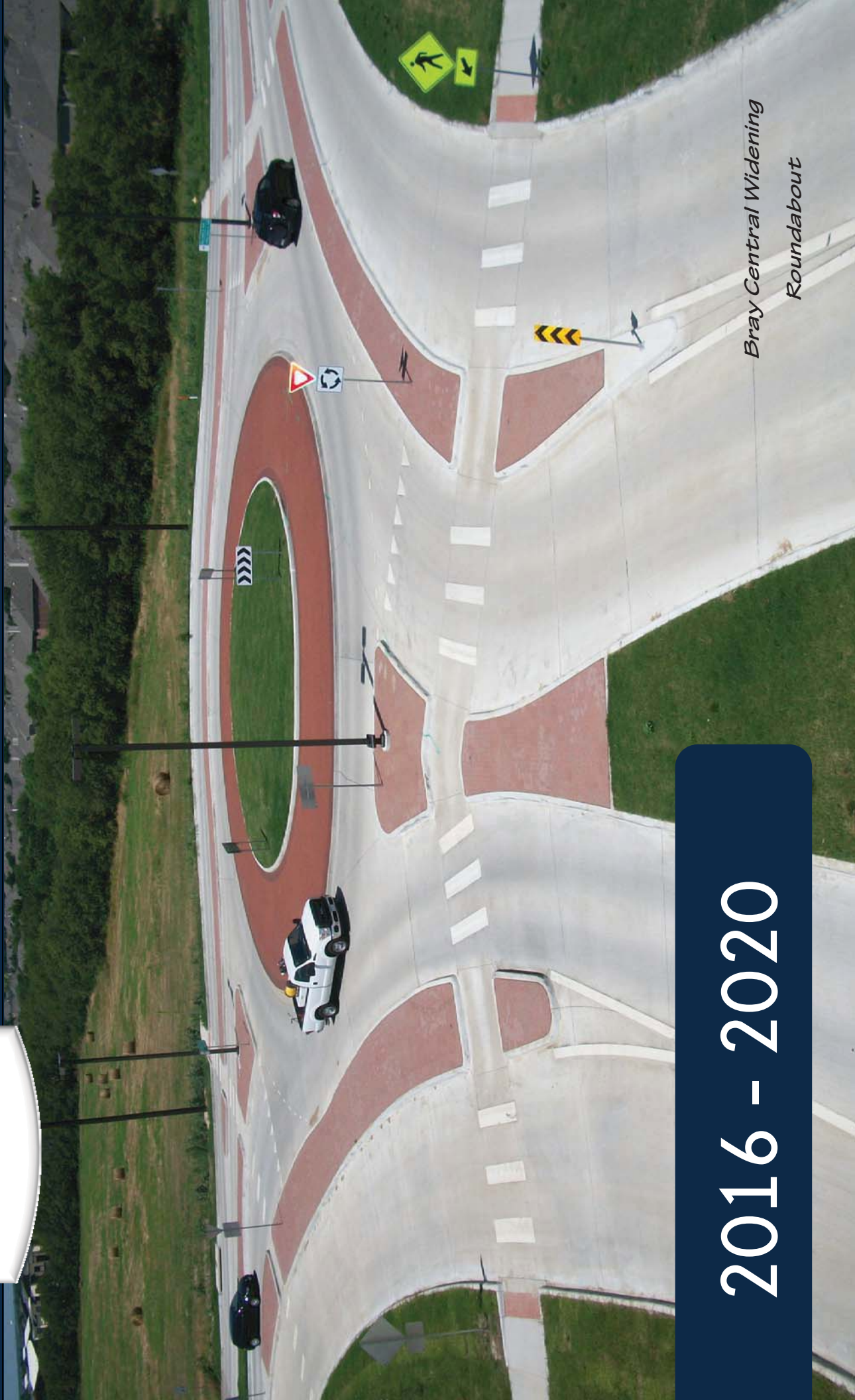
Recommend approval of the 2016-2020 CIP Report.

MOTION

I make a motion to recommend approval of the 2016-2020 Capital Improvement Program to the City Council.



CAPITAL IMPROVEMENT PROGRAM



2016 - 2020

*Bray Central Widening
Roundabout*



July 23, 2015

Honorable Mayor and Members of the Allen City Council:

The five-year Capital Improvement Program (CIP) represents the Capital Budget for 2016 prepared in accordance with Section 102.003 of the Texas Local Government Code and a financial plan for infrastructure and other improvements through 2020 as required by Sections 4.02(5) and (6) of the Allen City Charter. These improvements are intended to further the vision and objectives of the City Council and the community. Projects proposed in years after 2016 indicate suggested sources of funding and expenditure levels based on the needs of the City and consistent with prudent fiscal management. This CIP includes a commitment to maintain and improve existing assets, as well as to move forward with new facilities.

We are pleased to have completed the following during the 2015 fiscal year: Exchange Parkway Widening (Alma – Allen Heights), Bray Central Widening, Whis-Lynge Water and Sanitary Sewer Rehab, Watters/Bossy Boots Signal, and various facility upgrades, to name a few.

The 2016 Capital Improvement Program provides for the expenditure of funds for projects authorized in the May 12, 2007, bond election and projects identified by staff and the Council, funded with transfers from operating funds or through the use of specific purpose fees (park fees or impact fees). This is a “living document,” designed to augment information available to the public and does not diminish the need for continued citizen involvement and refinement of the program.

The 2016-2020 Capital Improvement Program was prepared by the Engineering Department in conjunction with those departments whose projects are included. We appreciate the efforts of the City staff who worked to complete this document.

The support of the City Council in implementing the CIP has been steadfast and positive. We look forward to the continued support of the Council to make these projects a reality.

Sincerely,

Peter H. Vargas
City Manager



PURPOSE

The five-year Capital Improvement Program (CIP) is prepared in accordance with Section 102.003 of the TEXAS LOCAL GOVERNMENT CODE which requires that "the budget must contain ... the funds received from all sources during the preceding year", "... the funds available from all sources during the ensuing year," and that "budget must show as definitely as possible each of the projects for which expenditures are set up... and the estimated amount of money carried in the budget for each project," as well as Section 4.02(5) and (6) of the Allen City Charter which requires that the budget document shall contain "... any capital expenditures necessary for undertaking during the next budget year and recommended provision for financing," and a "list of capital projects which should be undertaken in the next five (5) succeeding years."

The purpose of the CIP is to provide a readable and coherent plan for the physical development of the city's infrastructure as well as a financial planning tool.

Included in the CIP are projects also identified in the ten-year *Capital Improvement Plan* adopted pursuant to Chapter 395 of the TEXAS LOCAL GOVERNMENT CODE which governs projects for which impact fees may be assessed. CIP projects are those "brick & mortar" projects that will be included in the City's fixed asset inventory once complete. They generally do not include rolling stock, planning studies or other studies that may be necessary to evaluate project scope or other requirements. Projects expected to be substantially complete by the end of the fiscal year are not included in the CIP. Projects proposed in future years may require additional funding authorizations as well as a General Obligation Bond election.

The CIP should be reviewed and updated annually as an integral part of the budget process. It is also recommended that the CIP be reviewed by the Planning & Zoning Commission prior to Council action.

ORGANIZATION

Total costs and revenues are summarized for all projects. Summaries are also provided for each source of funds. Project Details show budgets, prior appropriation and expenditures, estimated operation and maintenance costs, as well as all sources of funding. Projects have been grouped as follows: Government, Parks, Public Works, and Utilities.

Project Details include a description of the project, project phasing if applicable, and pertinent information concerning specific financing proposals, including projects with multiple financing sources.

Project priority has been categorized as follows: Desirable, Essential, Leveraged, Mandated, Maintenance, and Obligated.

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PRIORITY CLASSIFICATION

Desirable: These projects include those that are considered desirable while not essential to the health, safety and welfare of the community. Deferring all or portions of these projects to later years may be considered in the interest of prudent fiscal management.

Essential: These projects include those essential to meet or maintain health, safety and welfare or to provide adequate levels of service or to meet projected demand for service.

Leveraged: The use of a smaller investment of City funds to generate a larger return to the community through participation in collaborative financing arrangements with state, federal or other financing entities. Cooperative agreements with TxDOT and Collin County for roadway financing are considered leveraged.

Mandated: Includes improvements required by state and federal law. Failure to effect compliance may result in penalties or civil liability, or both.

Maintenance: Maintenance projects are required to protect the city's investment in existing assets. These projects may be funded through debt obligations, operating revenues, property taxes or other sources. Ordinary repair and maintenance of equipment is included in the Capital Equipment Replacement Fund, unless the cost exceeds \$50 K; the life of an improvement will be extended by ten or more years, and the facility/equipment to be replaced is considered a fixture.

Obligated: These projects represent an established legal commitment by the City, and include existing contractual commitments and projects for which the voters have authorized general obligation bonds.

CATEGORIES

Miscellaneous: Projects that are general in nature and do not fit into a specific category

Government: Projects of citywide importance not included in other categories.

Parks: Park projects including facilities, greenbelts and trails, Community Parks, and Neighborhood Parks.

Public Works: Projects including street improvements, drainage improvements, and traffic.

Utilities: Includes water and wastewater projects.

APPROPRIATION EXPENDITURES

Acquisition: Generally includes legal fees, title costs, appraisal and survey fees, and purchase price.

Architectural and Engineering: Design and engineering fees.

Construction: Actual cost of construction of facility.

Equipment: Equipment to be included as part of a project.

Other: Includes contingency and miscellaneous costs.

SOURCE OF FUNDS

General Obligation Bonds: debt instruments authorized by a vote of the electorate to finance improvements. The bonds are subject to covenants and the issuance of bonds is based on the full faith and credit of the city. General Obligation (G.O.) bonds are ordinarily issued for governmental projects such as streets, drainage, parks and public facilities.

Revenue Bonds: debt instruments, the repayment of which depends on the stream of revenues generated by municipal enterprise, such as the water and wastewater system. These bonds are subject to covenants and debt coverage requirements.

Intergovernmental: funds supplied through other governmental agencies such as TxDOT, Collin County, or the federal government. These funds include loans, reimbursable grants, or programs requiring matching local funds.

Type A/B Taxes: funding authorized by the Community Development Corporation or the Allen Economic Development Corporation pursuant to the Development Corporation Act of 1979.

Interest Earnings: the interest on bond proceeds may be utilized to amortize debt or to finance authorized projects approved by the City Council. Arbitrage regulations limit the amount of time which the City may invest bond proceeds in interest bearing accounts.

General Fund Revenues: revenues generated through ad valorem taxes, sales taxes or fees.

Operational Revenues: revenues generated by the enterprise operations of the City, primarily water and wastewater revenues.

Fees: revenues generated through impact fees or other development charges. The adoption of impact fees is subject to the requirements of Chapter 395 of the TEXAS LOCAL GOVERNMENT CODE. Park Fees, while specifically excluded from the definition of impact fees, are included as a revenue source.

Developer Contributions: infrastructure contributions made by development interests pursuant to adopted facilities agreements.

Other: revenues from other sources, including private contributions and special assessments.

Project Priorities

Government

Amounts in Thousands

Arts

ID	YR	Project Name	Priority:	Total Project
08A001	2008	Public Art	Desirable	\$694
Subtotal			Arts	\$694

Public Facilities

ID	YR	Project Name	Priority:	Total Project
14F01	2014	Allen Public Library Expansion		\$12,885
Subtotal			Public Facilities	\$12,885

Public Safety

ID	YR	Project Name	Priority:	Total Project
13F01	2013	Fire Station #2	Desirable	\$4,751
10PS02	2010	Municipal Service Center - Phase II	Desirable	\$2,000
09F01	2009	Facility Upgrades	Essential	\$6,120
08F01	2011	Fire Station #6 and Equipment	Essential	\$5,834
Subtotal			Public Safety	\$18,705

Subtotal	Government	\$32,284
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Parks

Amounts in Thousands

Community Park

ID	YR	Project Name	Priority:	Total Project
00P07	2000	Land Acquisition	Desirable	\$1,888
07P02	2009	Rowlett Creek Community Park (ESTEVEIE)	Desirable	\$3,800
01P08	2008	Watters Branch Community Park	Desirable	\$7,122
Subtotal				Community Park \$12,810

Neighborhood Park

ID	YR	Project Name	Priority:	Total Project
11P02	2010	Neighborhood Park Development	Desirable	\$791
Subtotal				Neighborhood Park \$791

Park Facilities

ID	YR	Project Name	Priority:	Total Project
13P02	2013	Allen Event Center Improvements	Desirable	\$60
15PXXX	2015	Allen Heritage Village Improvements	Desirable	\$75
13P03	2014	CDC Capital Projects - 2014	Desirable	\$225
15P0	2015	CDC Capital Projects - 2015	Desirable	\$345
17P01	2017	Ford Pool Redevelopment	Desirable	\$3,163
12P07	2012	Parks Security Camera System, Phase 2	Essential	\$117
06P02	2011	Environmental Discovery Center	Obligated	\$500
Subtotal				Park Facilities \$4,485

Traffic

ID	YR	Project Name	Priority:	Total Project
12P04	2012	Bike Route Markings	Desirable	\$250
Subtotal				Traffic \$250

Parks

Amounts in Thousands

Trail

ID		YR	Project Name	Priority:	Total Project
04CBD 13P01	2001 2012	2001	Trail Development	Desirable	\$3,500
			Cottonwood Creek Trail/HPP	Leveraged	\$351

Subtotal Trail \$3,851

Subtotal Parks \$22,187

Public Works

Amounts in Thousands

Drainage

ID	YR	Project Name	Priority:	Total Project
15D02	2015	Cottonwood Creek Bank Stabilization	Essential	\$150
15D01	2015	Bank Stabilization / Erosion / Drainage Projects	Maintenance	\$3,000
Subtotal Drainage				\$3,150

Street Maintenance

ID	YR	Project Name	Priority:	Total Project
01S02	2008	Street and Alley Replacement	Obligated	\$1,600
Subtotal Street Maintenance				\$1,600

Streets

ID	YR	Project Name	Priority:	Total Project
13PW01	2013	Chaparral Road Streetlights	Desirable	\$340
13S04	2013	Citywide Traffic Signal Upgrades/Modifications	Desirable	\$1,520
10S01	2010	Median / Lighting (Various Locations)	Desirable	\$1,380
15S05	2015	New Traffic Signal Construction	Desirable	\$900
07PW02	2007	Stacy Road, Phase 2 (Greenville to FM 1378)	Essential	\$31
15S08	2015	2015 Intersection Improvements (Various Locations)	Leveraged	\$810
15S07	2015	Alma Drive Widening	Leveraged	\$5,300
15S01	2015	Collin County Roadway Partnership	Leveraged	\$10,000
02S02	2003	FM 2551 (Angel Parkway) - Main St. to Parker Rd.	Leveraged	\$28,834
15S03	2015	Montgomery Boulevard Extension	Leveraged	\$1,163
15S06	2015	Olsen & Beverly Elementary Sidewalk Improvements	Leveraged	\$50
15S04	2015	Ridgemont Drive Reconstruction	Leveraged	\$622
07S04	2007	Ridgeview & US 75 Interchange	Leveraged	\$32,000
13S01	2013	Ridgeview Drive (Watters to US 75)	Leveraged	\$9,000
13PW03	2013	Stacy Traffic Signals (Greenville and Angel)	Leveraged	\$130
Subtotal Streets				\$92,080

Public Works

Amounts in Thousands

Subtotal Public Works \$96,830

Utilities

Amounts in Thousands

Wastewater

ID	YR	Project Name	Priority:	Total Project
04X01	2004	US 75 Lift Station & 12" Force Main	Essential	\$4,175

Subtotal Wastewater \$4,175

Water

ID	YR	Project Name	Priority:	Total Project
13W02	2013	Automatic Meter Reading Retrofit	Desirable	\$6,973
15W01	2015	Lift Station Maintenance	Essential	\$753
15W02	2015	Pump Station Maintenance	Essential	\$972
11W01	2011	Stacy Road Ground Storage #2 Repaint	Essential	\$670
15W03	2015	Water & Sewer SCADA System Upgrade	Essential	\$228
12W01	2012	Custer Tower and Bethany Tower Repaint	Maintenance	\$950
12W02	2012	Rowlett Tower Repaint	Maintenance	\$750

Subtotal Water \$11,296

Water & Wastewater

ID	YR	Project Name	Priority:	Total Project
15U01	2015	Water Line and Sewer Main Replacement	Maintenance	\$12,758

Subtotal Water & Wastewater \$12,758

Subtotal Utilities \$28,229

Source of Funds - General Obligation Bond Revenues

Government

☒ Authorized Amounts in Thousands

Arts

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
08A001	Public Art	\$1,390	\$0	\$0	\$0	\$0	\$0
Subtotal	Arts	\$1,390	\$0	\$0	\$0	\$0	\$0

Public Facilities

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
14F01	Allen Public Library Expansion	\$0	\$0	\$100	\$920	\$11,615	\$250
Subtotal	Public Facilities	\$0	\$0	\$100	\$920	\$11,615	\$250

Public Safety

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
09F01	Facility Upgrades	\$0	\$0	\$500	\$500	\$500	\$500
13F01	Fire Station #2	\$4,726	\$0	\$0	\$0	\$0	\$0
08F01	Fire Station #6 and Equipment	\$0	\$0	\$0	\$500	\$4,775	\$559
10PS02	Municipal Service Center - Phase II	\$0	\$0	\$2,000	\$0	\$0	\$0
Subtotal	Public Safety	\$4,726	\$0	\$2,500	\$1,000	\$5,275	\$1,059

Subtotal Government

\$6,116 \$0 \$2,600 \$1,920 \$16,890 \$1,309

Parks

☒ Authorized Amounts in Thousands

Community Park

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
00P07	Land Acquisition	\$3,038	\$0	\$0	\$0	\$0	\$0
07P02	Rowlett Creek Community Park (ESTEVEIE)	\$3,400	\$0	\$0	\$0	\$0	\$0
01P08	Watters Branch Community Park	\$3,100	\$0	\$0	\$0	\$0	\$0

Subtotal Community Park

\$9,538 \$0 \$0 \$0 \$0 \$0 \$0

Neighborhood Park

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
11P02	Neighborhood Park Development	\$500	\$0	\$0	\$0	\$0	\$0
Subtotal Neighborhood Park		\$500	\$0	\$0	\$0	\$0	\$0

Park Facilities

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
06P02	Environmental Discovery Center	\$500	\$0	\$0	\$0	\$0	\$0
Subtotal Park Facilities		\$500	\$0	\$0	\$0	\$0	\$0

Trail

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
13P01	Cottonwood Creek Trail/HPP	\$100	\$0	\$0	\$0	\$0	\$0
Subtotal Trail		\$100	\$0	\$0	\$0	\$0	\$0

Subtotal Parks	\$10,638	\$0	\$0	\$0	\$0	\$0	\$0
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Public Works

☒ Authorized Amounts in Thousands

Drainage

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
15D01	Bank Stabilization / Erosion / Drainage Projects	\$0	\$0	\$500	\$500	\$1,000	\$1,000
15D02	Cottonwood Creek Bank Stabilization	\$415	\$0	\$0	\$0	\$0	\$0
Subtotal	Drainage	\$415	\$0	\$500	\$500	\$1,000	\$1,000

Street Maintenance

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
01S02	Street and Alley Replacement	\$146	\$0	\$0	\$0	\$0	\$0
Subtotal	Street Maintenance	\$146	\$0	\$0	\$0	\$0	\$0

Streets

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
15S07	Alma Drive Widening	\$2,400	\$0	\$0	\$0	\$0	\$0
13S04	Citywide Traffic Signal Upgrades/Modifications	\$0	\$0	\$170	\$170	\$180	\$1,000
15S01	Collin County Roadway Partnership	\$0	\$0	\$2,750	\$0	\$700	\$1,550
10S01	Median / Lighting (Various Locations)	\$0	\$0	\$300	\$0	\$300	\$0
07S04	Ridgeview & US 75 Interchange	\$0	\$0	\$0	\$3,200	\$0	\$0
13S01	Ridgeview Drive (Watters to US 75)	\$0	\$0	\$1,605	\$0	\$300	\$4,250
07PW02	Stacy Road, Phase 2 (Greenville to FM 1378)	\$16	\$0	\$0	\$0	\$0	\$0
Subtotal	Streets	\$2,416	\$0	\$4,825	\$3,370	\$1,480	\$6,800
Subtotal	Public Works	\$2,977	\$0	\$5,325	\$3,870	\$2,480	\$7,800

Total G.O. Bond Revenues

\$19,731 \$0 \$7,925 \$5,790 19,370 \$9,109

Source of Funds - Revenue Bonds

Amounts in Thousands

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Subtotal		\$0	\$0	\$0	\$0	\$0	\$0
Subtotal		\$0	\$0	\$0	\$0	\$0	\$0
Total Revenue Bonds		\$0	\$0	\$0	\$0	\$0	\$0

Source of Funds - Intergovernmental Revenues

Parks

Amounts in Thousands

Community Park

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
00P07	Land Acquisition	\$450	\$0	\$0	\$0	\$0	\$0
07P02	Rowlett Creek Community Park (ESTEVIEWE)	\$0	\$400	\$0	\$0	\$0	\$0
01P08	Watters Branch Community Park	\$0	\$500	\$0	\$0	\$0	\$0
Subtotal Community Park		\$450	\$900	\$0	\$0	\$0	\$0

Trail

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
13P01	Cottonwood Creek Trail/HPP	\$902	\$0	\$0	\$0	\$0	\$0
Subtotal Trail		\$902	\$0	\$0	\$0	\$0	\$0
Subtotal Parks		\$1,352	\$900	\$0	\$0	\$0	\$0

Public Works

Amounts in Thousands

Streets

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
15S08	2015 Intersection Improvements (Various Locati	\$450	\$0	\$0	\$0	\$0	\$0
15S07	Alma Drive Widening	\$250	\$2,500	\$0	\$0	\$0	\$0
15S01	Collin County Roadway Partnership	\$0	\$0	\$2,750	\$0	\$700	\$1,550
02S02	FM 2551 (Angel Parkway) - Main St. to Parker Rd	\$0	\$700	\$7,906	\$10,000	\$9,134	\$0
07S04	Ridgeview & US 75 Interchange	\$0	\$0	\$2,750	\$21,460	\$4,590	\$0
13S01	Ridgeview Drive (Watters to US 75)	\$2,310	\$0	\$0	\$0	\$0	\$0
Subtotal	Streets	\$3,010	\$3,200	\$13,406	\$31,460	\$14,424	\$1,550
Subtotal	Public Works	\$3,010	\$3,200	\$13,406	\$31,460	\$14,424	\$1,550

Total Intergovernmental Revenues

\$1,550

Source of Funds - Type A/B Revenues

Parks

Amounts in Thousands

Community Park

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
01P08	Watters Branch Community Park	\$3,300	\$0	\$0	\$0	\$0	\$0
Subtotal	Community Park	\$3,300	\$0	\$0	\$0	\$0	\$0

Neighborhood Park

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
11P02	Neighborhood Park Development	\$1,560	\$0	\$0	\$0	\$0	\$0
Subtotal	Neighborhood Park	\$1,560	\$0	\$0	\$0	\$0	\$0

Park Facilities

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
13P02	Allen Event Center Improvements	\$212	\$0	\$0	\$0	\$0	\$0
15PXXX	Allen Heritage Village Improvements	\$1,600	\$0	\$0	\$0	\$0	\$0
13P03	CDC Capital Projects - 2014	\$1,138	\$0	\$0	\$0	\$0	\$0
15P0	CDC Capital Projects - 2015	\$1,159	\$0	\$0	\$0	\$0	\$0
17P01	Ford Pool Redevelopment	\$400	\$2,860	\$0	\$0	\$0	\$0
12P07	Parks Security Camera System, Phase 2	\$250	\$0	\$0	\$0	\$0	\$0
Subtotal	Park Facilities	\$4,759	\$2,860	\$0	\$0	\$0	\$0

Parks

Amounts in Thousands

Traffic

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
12P04	Bike Route Markings	\$50	\$50	\$50	\$50	\$50	\$50
Subtotal Traffic		\$50	\$50	\$50	\$50	\$50	\$50

Trail

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
13P01	Cottonwood Creek Trail/HPP	\$910	\$0	\$0	\$0	\$0	\$0
04CBD	Trail Development	\$1,469	\$700	\$700	\$700	\$700	\$700
Subtotal Trail		\$2,379	\$700	\$700	\$700	\$700	\$700
Subtotal Parks		\$12,048	\$3,610	\$750	\$750	\$750	\$750

Public Works

Amounts in Thousands

Drainage

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
15D02	Cottonwood Creek Bank Stabilization	\$85	\$0	\$0	\$0	\$0	\$0
Subtotal	Drainage	\$85	\$0	\$0	\$0	\$0	\$0

Streets

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
15S04	Ridgemont Drive Reconstruction	\$472	\$0	\$0	\$0	\$0	\$0
Subtotal	Streets	\$472	\$0	\$0	\$0	\$0	\$0

Subtotal	Public Works	\$557	\$0	\$0	\$0	\$0	\$0
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Total	4a/4b Revenues	\$12,605	\$3,610	\$750	\$750	\$750	\$750
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Source of Funds - General Fund Revenues

Government

Amounts in Thousands

Public Safety

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
09F01	Facility Upgrades	\$1,200	\$600	\$600	\$600	\$600	\$600
Subtotal	Public Safety	\$1,200	\$600	\$600	\$600	\$600	\$600
Subtotal	Government	\$1,200	\$600	\$600	\$600	\$600	\$600

Public Works

Amounts in Thousands

Streets

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
15S04	Ridgmont Drive Reconstruction	\$250	\$0	\$0	\$0	\$0	\$0
Subtotal	Streets	\$250	\$0	\$0	\$0	\$0	\$0
Subtotal	Public Works	\$250	\$0	\$0	\$0	\$0	\$0

Total General Fund Revenues

\$1,450 \$600 \$600 \$600 \$600

Source of Funds - Operational Revenues

Public Works

Amounts in Thousands

Street Maintenance

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
01S02	Street and Alley Replacement	\$1,050	\$400	\$300	\$300	\$300	\$300
Subtotal Street Maintenance		\$1,050	\$400	\$300	\$300	\$300	\$300

Streets

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
15S03	Montgomery Boulevard Extension	\$129	\$0	\$0	\$0	\$0	\$0
Subtotal Streets		\$129	\$0	\$0	\$0	\$0	\$0

Subtotal Public Works

\$1,179 \$400 \$300 \$300 \$300

Utilities

Amounts in Thousands

Wastewater

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
04X01	US 75 Lift Station & 12" Force Main	\$450	\$0	\$0	\$0	\$0	\$0
Subtotal Wastewater		\$450	\$0	\$0	\$0	\$0	\$0

Water

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
13W02	Automatic Meter Reading Retrofit	\$200	\$350	\$1,123	\$350	\$400	\$400
12W01	Custer Tower and Bethany Tower Repaint	\$0	\$400	\$550	\$0	\$0	\$0
15W01	Lift Station Maintenance	\$345	\$70	\$100	\$100	\$100	\$100
15W02	Pump Station Maintenance	\$462	\$125	\$125	\$125	\$125	\$125
12W02	Rowlett Tower Repaint	\$0	\$0	\$750	\$0	\$0	\$0
11W01	Stacy Road Ground Storage #2 Repaint	\$0	\$670	\$0	\$0	\$0	\$0
Subtotal Water		\$1,007	\$1,615	\$2,648	\$575	\$625	\$625

Water & Wastewater

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
15U01	Water Line and Sewer Main Replacement	\$1,500	\$1,600	\$1,500	\$2,250	\$2,250	\$3,000
Subtotal Water & Wastewater		\$1,500	\$1,600	\$1,500	\$2,250	\$2,250	\$3,000

Subtotal Utilities

\$2,957	\$3,215	\$4,148	\$2,825	\$2,875	\$3,625
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Total Operational Revenues

\$4,136	\$3,615	\$4,448	\$3,125	\$3,175	\$3,925
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Source of Funds - Fees

Parks

Amounts in Thousands

Community Park

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
01P08	Watters Branch Community Park	\$550	\$0	\$0	\$0	\$0	\$0
Subtotal Community Park		\$550	\$0	\$0	\$0	\$0	\$0

Neighborhood Park

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
11P02	Neighborhood Park Development	\$61	\$0	\$0	\$0	\$0	\$0
Subtotal Neighborhood Park		\$61	\$0	\$0	\$0	\$0	\$0

Subtotal Parks

\$611	\$0	\$0	\$0	\$0	\$0
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Public Works

Amounts in Thousands

Streets

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
15S08	2015 Intersection Improvements (Various	\$150	\$0	\$0	\$0	\$0	\$0
15S07	Alma Drive Widening	\$230	\$0	\$0	\$0	\$0	\$0
15S05	New Traffic Signal Construction	\$0	\$0	\$300	\$300	\$300	\$0
13S01	Ridgeview Drive (Watters to US 75)	\$0	\$0	\$320	\$0	\$0	\$215
Subtotal Streets		\$380	\$0	\$620	\$300	\$300	\$215
Subtotal Public Works		\$380	\$0	\$620	\$300	\$300	\$215

Utilities

Amounts in Thousands

Wastewater

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
04X01	US 75 Lift Station & 12" Force Main	\$3,750	\$0	\$0	\$0	\$0	\$0
Subtotal Wastewater		\$3,750	\$0	\$0	\$0	\$0	\$0

Water

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
13W02	Automatic Meter Reading Retrofit	\$100	\$0	\$0	\$0	\$0	\$0
15W03	Water & Sewer SCADA System Upgrade	\$500	\$0	\$0	\$0	\$0	\$0
Subtotal Water		\$600	\$0	\$0	\$0	\$0	\$0
Subtotal Utilities		\$4,350	\$0	\$0	\$0	\$0	\$0

Total Fees

\$5,341 \$0 \$620 \$300 \$215

Source of Funds - Developer Contributions

Public Works

Amounts in Thousands

Streets

ID#	Project Name	Prior Years	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
02S02	FM 2551 (Angel Parkway) - Main St. to Parker	\$0	\$1,094	\$0	\$0	\$0	\$0
07PW0	Stacy Road, Phase 2 (Greenville to FM 1378)	\$1,085	\$0	\$0	\$0	\$0	\$0
Subtotal	Streets	\$1,085	\$1,094	\$0	\$0	\$0	\$0
Subtotal	Public Works	\$1,085	\$1,094	\$0	\$0	\$0	\$0

Total Developer Contributions

\$1,085 \$1,094 \$0 \$0 \$0 \$0

Expenditures

Government

Amounts in Thousands

Arts

ID	Project Name	Est. 9-30-15	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
08A001	Public Art	\$704	\$349	\$345	\$0	\$0	\$0
Subtotal	Arts	\$704	\$349	\$345	\$0	\$0	\$0

Public Facilities

ID	Project Name	Est. 9-30-15	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
14F01	Allen Public Library Expansion	\$0	\$0	\$100	\$920	\$11,615	\$250
Subtotal	Public Facilities	\$0	\$0	\$100	\$920	\$11,615	\$250

Public Safety

ID	Project Name	Est. 9-30-15	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
08F01	Fire Station #6 and Equipment	\$0	\$0	\$0	\$500	\$4,775	\$559
09F01	Facility Upgrades	\$80	\$1,720	\$1,100	\$1,100	\$1,100	\$1,100
10PS02	Municipal Service Center - Phase II	\$0	\$0	\$500	\$1,500	\$0	\$0
13F01	Fire Station #2	\$845	\$4,751	\$0	\$0	\$0	\$0
Subtotal	Public Safety	\$925	\$6,471	\$1,600	\$3,100	\$5,875	\$1,659

Subtotal Government

\$1,629 \$6,820 \$2,045 \$4,020 \$17,490 \$1,909

Parks

Amounts in Thousands

Community Park

ID	Project Name	Est. 9-30-15	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
00P07	Land Acquisition	\$1,600	\$1,888	\$0	\$0	\$0	\$0
01P08	Watters Branch Community Park	\$328	\$6,200	\$922	\$0	\$0	\$0
07P02	Rowlett Creek Community Park (ESTEVIEWE)	\$0	\$400	\$3,400	\$0	\$0	\$0

Subtotal	Community Park	\$1,928	\$8,488	\$4,322	\$0	\$0	\$0
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Neighborhood Park

ID	Project Name	Est. 9-30-15	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
11P02	Neighborhood Park Development	\$1,330	\$791	\$0	\$0	\$0	\$0

Subtotal	Neighborhood Park	\$1,330	\$791	\$0	\$0	\$0	\$0
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Park Facilities

ID	Project Name	Est. 9-30-15	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
06P02	Environmental Discovery Center	\$0	\$500	\$0	\$0	\$0	\$0
12P07	Parks Security Camera System, Phase 2	\$133	\$117	\$0	\$0	\$0	\$0
13P02	Allen Event Center Improvements	\$152	\$60	\$0	\$0	\$0	\$0
13P03	CDC Capital Projects - 2014	\$947	\$225	\$0	\$0	\$0	\$0
15P0	CDC Capital Projects - 2015	\$814	\$345	\$0	\$0	\$0	\$0
15PXXX	Allen Heritage Village Improvements	\$1,537	\$75	\$0	\$0	\$0	\$0
17P01	Ford Pool Redevelopment	\$97	\$3,163	\$0	\$0	\$0	\$0

Subtotal	Park Facilities	\$3,680	\$4,485	\$0	\$0	\$0	\$0
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Parks

Amounts in Thousands

Traffic

ID	Project Name	Est. 9-30-15	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
12P04	Bike Route Markings	\$50	\$50	\$50	\$50	\$50	\$50
Subtotal Traffic		\$50	\$50	\$50	\$50	\$50	\$50

Trail

ID	Project Name	Est. 9-30-15	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
04CBD	Trail Development	\$1,469	\$700	\$700	\$700	\$700	\$700
13P01	Cottonwood Creek Trail/HPP	\$1,561	\$351	\$0	\$0	\$0	\$0
Subtotal Trail		\$3,030	\$1,051	\$700	\$700	\$700	\$700

Subtotal Parks		\$10,018	\$14,865	\$5,072	\$750	\$750	\$750
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Public Works

Amounts in Thousands

Drainage

ID	Project Name	Est. 9-30-15	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
15D01	Bank Stabilization / Erosion / Drainage Pr	\$0	\$0	\$500	\$500	\$1,000	\$1,000
15D02	Cottonwood Creek Bank Stabilization	\$600	\$150	\$0	\$0	\$0	\$0
Subtotal Drainage		\$600	\$150	\$500	\$500	\$1,000	\$1,000

Street Maintenance

ID	Project Name	Est. 9-30-15	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
01S02	Street and Alley Replacement	\$1,237	\$400	\$300	\$300	\$300	\$300
Subtotal Street Maintenance		\$1,237	\$400	\$300	\$300	\$300	\$300

Public Works

Amounts in Thousands

Streets

ID	Project Name	Est. 9-30-15	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
02S02	FM 2551 (Angel Parkway) - Main St. to Par	\$0	\$700	\$9,000	\$10,000	\$9,134	\$0
07PW02	Stacy Road, Phase 2 (Greenville to FM 137	\$1,070	\$31	\$0	\$0	\$0	\$0
07S04	Ridgeview & US 75 Interchange	\$0	\$0	\$2,750	\$24,660	\$4,590	\$0
10S01	Median / Lighting (Various Locations)	\$0	\$50	\$430	\$450	\$0	\$450
13PW01	Chaparral Road Streetlights	\$0	\$40	\$300	\$0	\$0	\$0
13PW03	Stacy Traffic Signals (Greenville and Angel)	\$0	\$130	\$0	\$0	\$0	\$0
13S01	Ridgeview Drive (Watters to US 75)	\$0	\$0	\$850	\$3,000	\$600	\$4,550
13S04	Citywide Traffic Signal Upgrades/Modifica	\$50	\$0	\$170	\$170	\$180	\$1,000
15S01	Collin County Roadway Partnership	\$0	\$0	\$5,500	\$0	\$1,400	\$3,100
15S03	Montgomery Boulevard Extension	\$2,237	\$1,163	\$0	\$0	\$0	\$0
15S04	Ridgemont Drive Reconstruction	\$100	\$622	\$0	\$0	\$0	\$0
15S05	New Traffic Signal Construction	\$0	\$0	\$300	\$300	\$300	\$0
15S06	Olsen & Beverly Elementary Sidewalk Imp	\$150	\$50	\$0	\$0	\$0	\$0
15S07	Alma Drive Widening	\$200	\$2,800	\$2,500	\$0	\$0	\$0
15S08	2015 Intersection Improvements (Various	\$90	\$810	\$0	\$0	\$0	\$0
Subtotal	Streets	\$3,897	\$6,396	\$21,800	\$38,580	\$16,204	\$9,100
Subtotal	Public Works	\$5,734	\$6,946	\$22,600	\$39,380	\$17,504	\$10,400

Utilities

Amounts in Thousands

Wastewater

ID	Project Name	Est. 9-30-15	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
04X01	US 75 Lift Station & 12" Force Main	\$25	\$325	\$3,850	\$0	\$0	\$0
Subtotal	Wastewater	\$25	\$325	\$3,850	\$0	\$0	\$0

Water

ID	Project Name	Est. 9-30-15	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
11W01	Stacy Road Ground Storage #2 Repaint	\$0	\$670	\$0	\$0	\$0	\$0
12W01	Custer Tower and Bethany Tower Repaint	\$0	\$400	\$550	\$0	\$0	\$0
12W02	Rowlett Tower Repaint	\$0	\$0	\$750	\$0	\$0	\$0
13W02	Automatic Meter Reading Retrofit	\$0	\$0	\$1,100	\$1,873	\$4,000	\$0
15W01	Lift Station Maintenance	\$62	\$353	\$100	\$100	\$100	\$100
15W02	Pump Station Maintenance	\$115	\$472	\$125	\$125	\$125	\$125
15W03	Water & Sewer SCADA System Upgrade	\$272	\$228	\$0	\$0	\$0	\$0
Subtotal	Water	\$449	\$2,123	\$2,625	\$2,098	\$4,225	\$225

Water & Wastewater

ID	Project Name	Est. 9-30-15	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
15U01	Water Line and Sewer Main Replacement	\$2,600	\$2,800	\$2,458	\$2,250	\$2,250	\$3,000
Subtotal	Water & Wastewater	\$2,600	\$2,800	\$2,458	\$2,250	\$2,250	\$3,000

Subtotal Utilities \$3,074 \$5,248 \$8,933 \$4,348 \$6,475 \$3,225

Total Expenditures \$20,455 \$33,879 \$38,650 \$48,498 \$42,219 \$16,284

Operations and Maintenance

Government

Amounts in Thousands

Arts

ID#	Project Name	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
08A00	Public Art	\$68	\$77	\$0	\$0	\$0
Subtotal	Arts	\$68	\$77	\$0	\$0	\$0

Public Facilities

ID#	Project Name	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
14F01	Allen Public Library Expansion	\$0	\$0	\$0	\$390	\$320
Subtotal	Public Facilities	\$0	\$0	\$0	\$390	\$320

Public Safety

ID#	Project Name	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
08F01	Fire Station #6 and Equipment	\$0	\$0	\$0	\$1,200	\$0
10PS02	Municipal Service Center - Phase II	\$0	\$3,632	\$1,876	\$0	\$0
Subtotal	Public Safety	\$0	\$3,632	\$1,876	\$1,200	\$0

Subtotal	Government	\$68	\$3,709	\$1,876	\$1,590	\$320
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Parks

Amounts in Thousands

Community Park

ID#	Project Name	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
00P07	Land Acquisition	\$52	\$0	\$0	\$0	\$0
07P02	Rowlett Creek Community Park (ESTEVEIE)	\$0	\$0	\$469	\$0	\$0
01P08	Watters Branch Community Park	\$541	\$533	\$0	\$0	\$0

Subtotal	Community Park	\$593	\$533	\$469	\$0	\$0
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Neighborhood Park

ID#	Project Name	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
11P02	Neighborhood Park Development	\$151	\$156	\$0	\$0	\$0

Subtotal	Neighborhood Park	\$151	\$156	\$0	\$0	\$0
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Park Facilities

ID#	Project Name	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
15PXX	Allen Heritage Village Improvements	\$52	\$54	\$56	\$58	\$0
13P03	CDC Capital Projects - 2014	\$9	\$19	\$26	\$31	\$0
15P0	CDC Capital Projects - 2015	\$5	\$7	\$9	\$10	\$0
06P02	Environmental Discovery Center	\$25	\$91	\$76	\$79	\$0
12P07	Parks Security Camera System, Phase 2	\$7	\$8	\$11	\$12	\$0

Subtotal	Park Facilities	\$98	\$179	\$178	\$190	\$0
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Trail

ID#	Project Name	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
13P01	Cottonwood Creek Trail/HPP	\$24	\$24	\$0	\$0	\$0
04CBD	Trail Development	\$127	\$120	\$149	\$180	\$0

Subtotal	Trail	\$151	\$144	\$149	\$180	\$0
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Parks

Amounts in Thousands

Subtotal	Parks	\$993	\$1,012	\$796	\$370	\$0
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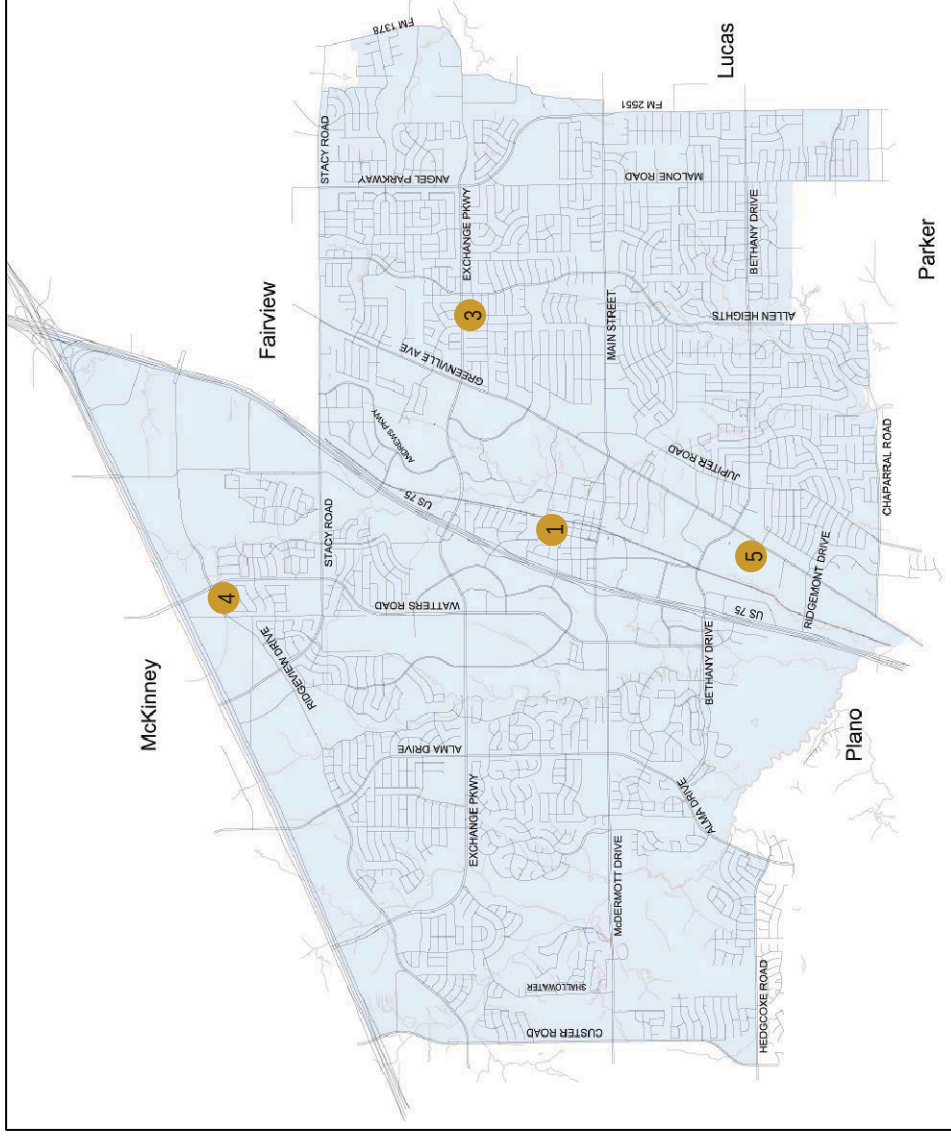
Total	O & M	\$1,061	\$4,721	\$2,672	\$1,960	\$320
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2015-2019 CAPITAL IMPROVEMENT PROGRAM

GOVERNMENT

General Government projects include administrative facilities not included as part of the parks, public works, streets and drainage, or utility projects.

- (1) Allen Public Library Expansion
- (2) Facilities Upgrades
- (3) Fire Station #2
- (4) Fire Station #6 and Equipment
- (5) Municipal Service Center—Phase 2
- (6) Public Art



Year ID# Project Name

2014

14F01

Allen Public Library Expansion

Notes

Expansion of the existing library facility.

GO Bond funds require voter authorization.

Includes: Building expansion of 47,333 SF
Retrofit items for existing facility
Parking lot repair and expansion

Type

Government

Category

Public Facilities

Priority

Rank

Finance #

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	290	320
Supplies	0	0	0	80	0
Services	0	0	0	20	0
Capital	0	0	0	0	0
Total	0	0	0	390	320
FTE	0.00	0.00	0.00	6.50	6.50

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	0	100	800	0	0	900
Construction	0	0	120	9,595	0	9,715
Equipment	0	0	0	2,020	250	2,270
Other	0	0	0	0	0	0
TOTAL	0	100	920	11,615	250	12,885

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	0	100	920	11,615	250	12,885
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	0	100	920	11,615	250	12,885

Source of Funds

Year ID# Project Name

2009

09F01

Facility Upgrades

Notes

FY15 Projects include:

City Hall Basement Remodel (General Fund)

Future projects to be determined as need arises, such as:

Roof Replacement (incl. Municipal Annex)

New HVAC

New Lighting/Retrofit

Facility Pavement Replacement

ADA Improvements

Type

Government

Category

Public Safety

Priority

Essential

Rank

G11

Finance #

PS1408

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0		0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0		0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0	0
Arch/Eng	30	150	100	100	100	100	580
Construction	50	1,570	1,000	1,000	1,000	1,000	5,620
Equipment	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	80	1,720	1,100	1,100	1,100	1,100	6,200

Appropriations

Current Revenues	
GO Bonds	0
Revenue Bonds	0
Intergovernmental	0
Type A/B Taxes	0
Gen. Fund Revenues	1,200
Oper. Revenues	0
Fees	0
DevCon	0
Other	0
TOTAL	1,200

Source of Funds

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	500	500	500	500	2,000
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	600	600	600	600	600	4,200
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	600	1,100	1,100	1,100	1,100	6,200

Page

G-02

Year ID# Project Name

2013 13F01

Fire Station #2

Notes

Reconstruction of Existing Fire Station

*Other - Unprogrammed street funds for signal (\$76k) and the balance is project savings within the program for facilities.

GO Bonds in current year are from:

Series 2014 \$2.32M

Series 2015 \$2.406M

Type

Government

Category

Public Safety

Priority

Desirable

Rank

Finance #

PS1303

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	100	0	0	0	0	445
Construction	4,392	0	0	0	0	4,892
Equipment	0	0	0	0	0	0
Other	259	0	0	0	0	259
TOTAL	4,751	0	0	0	0	5,596

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	4,726	0	0	0	0	4,726
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	870	0	0	0	0	870
TOTAL	5,596	0	0	0	0	5,596

Source of Funds

Year

ID #

Project Name

2011

08F01

Fire Station #6 and Equipment

Notes

Proposed location: SWC Ridgeview / Watters
Project includes station and one ladder truck.

Voter Authorization in May 2007, but priority shifted to Fire Station #2

Design and construction will require voter authorization of sale of additional debt (bonds) for FY17 and beyond.

Project currently dormant and will be restarted as future needs and development dictate.

Type

Government

Category

Public Safety

Priority

Essential

Rank

G07

Finance #

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	1200	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	1200	0
FTE	0.00	0.00	0.00	12.00	0.00

Amounts in Thousands

Appropriations

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0	0
Arch/Eng	0	0	0	500	0	0	500
Construction	0	0	0	0	3,361	559	3,920
Equipment	0	0	0	0	1,414	0	1,414
Other	0	0	0	0	0	0	0
TOTAL	0	0	0	500	4,775	559	5,834

Source of Funds

	Current Revenues	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	500	4,775	559	5,834
Revenue Bonds	0	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0	0
Fees	0	0	0	0	0	0	0
DevCon	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	0	0	0	500	4,775	559	5,834

Year ID # Project Name

2010

10PS02

Municipal Service Center - Phase II

Notes

Development of Fleet Maintenance/Finish out of Building

Type

Government

Category

Public Safety

Priority

Desirable

Rank

PS10

Finance #

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	640	380	0	0
Supplies	0	1400	700	0	0
Services	0	100	50	0	0
Capital	0	1492	746	0	0
Total	0	3632	1876	0	0
FTE	0.00	8.00	5.00	0.00	0.00

Amounts in Thousands

Current Expenditures

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0
Arch/Eng	0	150	0	0	0	150
Construction	0	0	750	0	0	750
Equipment	0	350	750	0	0	1,100
Other	0	0	0	0	0	0
TOTAL	0	500	1,500	0	0	2,000

Appropriations

Current Revenues

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	2,000	0	0	0	2,000
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	0	2,000	0	0	0	2,000

Source of Funds

Year

ID #

Project Name

2008

08A001

Public Art

Notes

Art Master Plan implementation-2% of G.O. Bonds 2007 Election

Voter authorization in May 2007

Past expenditures include:

Oceano @ Library \$95,196

Blackland Prairie @ City Hall \$205,045

Cottonwood Creek Sculpture \$17,750

Cottonwood Trail Bridge Enhancement \$100,000

Fire/Ladder @ FS#5 \$60,179

Exchange Parkway Art \$203,015

Walters Branch Community Park Art \$29,000

Current revenue includes \$230k issued in Spring 2014 and \$235k issued in Spring 2015.

Future expenditures to be recommended by Public Art Committee w/approvals by City Council.

Revenues and development in FY17 & beyond dependent upon future bond election & bond sales.

Only upon voter approval of future bond sales can 2% for Public Art be determined.

Type

Government

Category

Arts

Priority

Desirable

Rank

G09

Finance #

PR1208

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	10	11	0	0	0
Supplies	7	8	0	0	0
Services	51	58	0	0	0
Capital	0	0	0	0	0
Total	68	77	0	0	0
FTE	0.27	0.30	0.00	0.00	0.00

Amounts in Thousands

Appropriations

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0	0
Arch/Eng	4	4	0	0	0	0	8
Construction	700	345	345	0	0	0	1,390
Equipment	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	704	349	345	0	0	0	1,398

Source of Funds

	Current Revenues	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	1,390	0	0	0	0	0	1,390
Revenue Bonds	0	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0	0
Fees	0	0	0	0	0	0	0
DevCon	0	0	0	0	0	0	0
Other	8	0	0	0	0	0	8
TOTAL	1,398	0	0	0	0	0	1,398

2015-2019 CAPITAL IMPROVEMENT PROGRAM

PARKS

Park projects include Community Parks, Neighborhood Parks, and Greenbelt development, and the acquisition and development of Community and Neighborhood parks.

Community Parks

- (1) Land Acquisition
- (2) Rowlett Creek Community Park (ESTEVIEW)
- (3) Watters Branch Community Park

Neighborhood Park Development

- (4) Neighborhood Development

Park Facilities

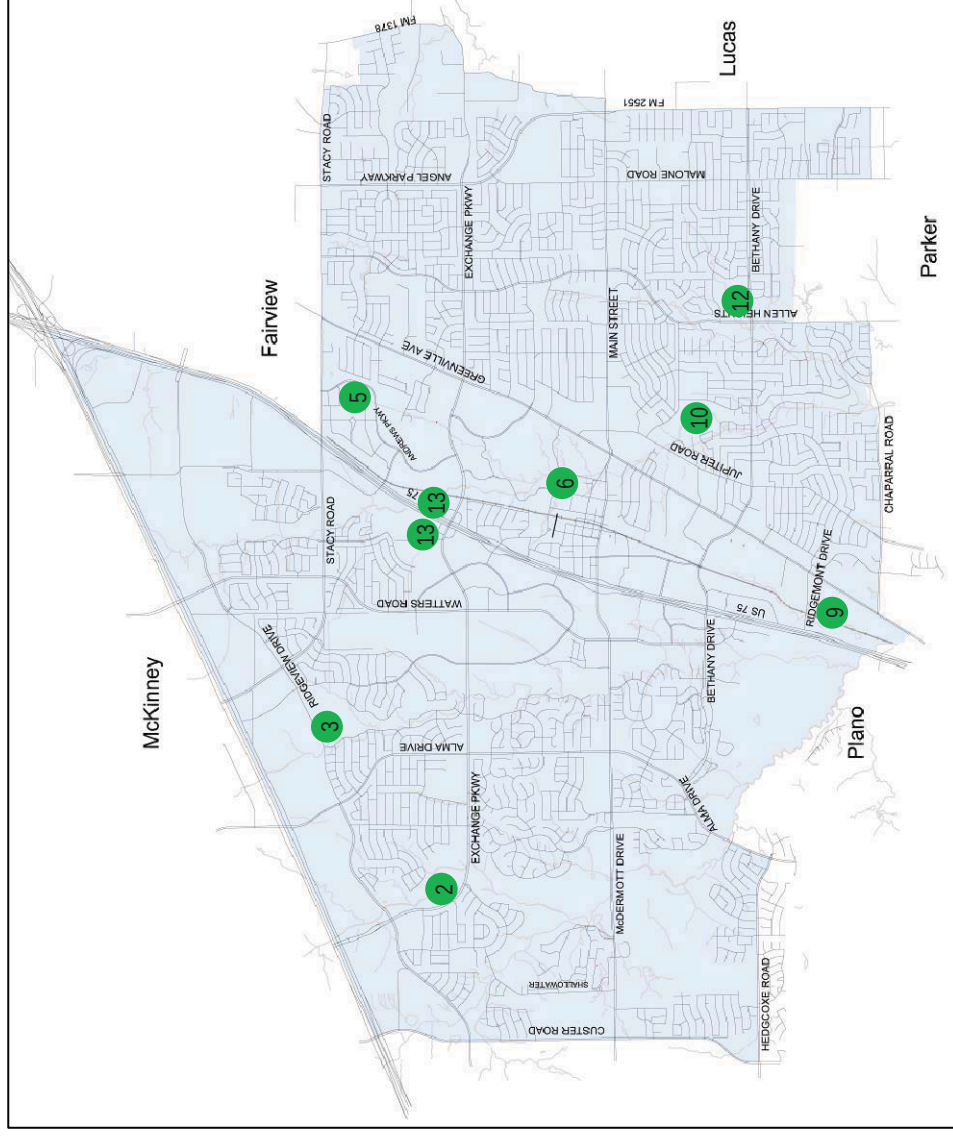
- (5) Allen Event Center Improvements
- (6) Allen Heritage Village Improvements
- (7) CDC Capital Projects—2014
- (8) CDC Capital Projects—2015
- (9) Environmental Discovery Center
- (10) Ford Pool Redevelopment
- (11) Park Security Camera System, Phase 2

Traffic

- (12) Bike Route Markings

Trails and Greenbelts

- (13) Cottonwood Creek Trail/HPP
- (14) Trail Development, Phase 3



Year ID # Project Name

2000

00P07

Land Acquisition

Notes

Community park land acquisition

Land acquisition for future community parks, pocket parks, and open space with approval by City Council.

GO Bond funding is dependent on future bond election approval.

Type

Parks

Category

Community Park

Priority

Desirable

Rank

PC03

Finance #

PR1302

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	8	0	0	0	0
Supplies	6	0	0	0	0
Services	38	0	0	0	0
Capital	0	0	0	0	0
Total	52	0	0	0	0
FTE	0.20	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	1,600	1,888	0	0	0	3,488
Arch/Eng	0	0	0	0	0	0
Construction	0	0	0	0	0	0
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	1,600	1,888	0	0	0	3,488

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	3,038	0	0	0	0	3,038
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	450	0	0	0	0	450
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	3,488	0	0	0	0	3,488

Source of Funds

Year

ID #

Project Name

2009

07P02

Rowlett Creek Community Park (ESTEVEIE)

Notes

West side community park development with passive & active recreation facilities for individual & group use.

FY11 \$100k from 2007 bond election

FY13 \$300k from 2007 bond election (Park Design)

FY16 \$3,000k from 2007 bond election (Park Construction); additional funds will be needed from

Type B or bond sales for full project implementation.

Intergovernmental funding source assumes award of a \$400k TPWD Grant.

Park Development in FY17 and beyond is dependent on partnership with the Allen Sports

Association for joint use of a new indoor sport facility and recreation center.

Type

Parks

Category

Community Park

Priority

Desirable

Rank

PC04

Finance #

PRXXXX

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	208	0	0
Supplies	0	0	147	0	0
Services	0	0	114	0	0
Capital	0	0	0	0	0
Total	0	0	469	0	0
FTE	0.00	0.00	5.40	0.00	0.00

Amounts in Thousands

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0	0
Arch/Eng	0	400	0	0	0	0	400
Construction	0	0	3,400	0	0	0	3,400
Equipment	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	0	400	3,400	0	0	0	3,800

Appropriations

	Current Revenues	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	3,400	0	0	0	0	0	3,400
Revenue Bonds	0	0	0	0	0	0	0
Intergovernmental	0	400	0	0	0	0	400
Type A/B Taxes	0	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0	0
Fees	0	0	0	0	0	0	0
DevCon	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	3,400	400	0	0	0	0	3,800

Source of Funds

Year ID# Project Name

2008 01P08

Watters Branch Community Park

Notes

55-acre community park on Watters Branch
Land held in trust for development, possible grant leveraging

FY11 \$100k from 2007 bond election (Planning, Conceptual Design)
FY14 \$3.0M from 2007 bond election (Design/Construction)
FY15 \$550k transferred from Park Dedication Fees for neighborhood park elements
FY16 \$3.3M from ACDC (Construction)

Purchased 24.25 acres additional land for park (Bush-Elkins property)

Awarded \$100,000 for development of trails by County.
Awarded \$400,000 for construction by Texas Parks and Wildlife.

Type

Parks

Category

Community Park

Priority

Desirable

Rank

PC06

Finance #

PR1209

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	117	236	0	0	0
Supplies	82	167	0	0	0
Services	64	130	0	0	0
Capital	278	0	0	0	0
Total	541	533	0	0	0
FTE	3.20	6.40	0.00	0.00	0.00

Amounts in Thousands

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0	0
Arch/Eng	328	200	0	0	0	0	528
Construction	0	6,000	922	0	0	0	6,922
Equipment	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	328	6,200	922	0	0	0	7,450

Appropriations

	Current Revenues	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	3,100	0	0	0	0	0	3,100
Revenue Bonds	0	0	0	0	0	0	0
Intergovernmental	0	500	0	0	0	0	500
Type A/B Taxes	3,300	0	0	0	0	0	3,300
Gen. Fund Revenues	0	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0	0
Fees	550	0	0	0	0	0	550
DevCon	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	6,950	500	0	0	0	0	7,450

Source of Funds

Year ID# Project Name

2010

11P02

Neighborhood Park Development

Notes

FY13 - \$200k Bonds issued
FY14 - \$200k Bonds issued

FY14 - CDC Approved \$630k funding June 10, 2013
FY15 - CDC Approved \$300k funding for FY15

Projects to be constructed:
Windridge - \$280k - 2015

The Orchards - \$350k - 2014

Reed East - \$61k (Park Dedication Fees)

Rolling Hills - \$400k - 2018

Quarry Park - \$1,000k - Bonds - 2019

Development in FY17 & beyond is dependent on CDC approved funding and future bond sales.

Type

Parks

Category

Neighborhood Park

Priority

Desirable

Rank

Finance #

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	71	73	0	0	0
Supplies	50	52	0	0	0
Services	30	31	0	0	0
Capital	0	0	0	0	0
Total	151	156	0	0	0
FTE	2.00	2.00	0.00	0.00	0.00

Amounts in Thousands

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0	0
Arch/Eng	239	0	0	0	0	0	239
Construction	1,091	791	0	0	0	0	1,882
Equipment	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	1,330	791	0	0	0	0	2,121

Appropriations

	Current Revenues	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	500	0	0	0	0	0	500
Revenue Bonds	0	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0	0
Type A/B Taxes	1,560	0	0	0	0	0	1,560
Gen. Fund Revenues	0	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0	0
Fees	61	0	0	0	0	0	61
DevCon	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	2,121	0	0	0	0	0	2,121

Source of Funds

Year ID # Project Name

2013 13P02

Allen Event Center Improvements

Notes

CDC approved \$217k for dasher board replacement, outdoor storage, etc. in June 2013.

\$5k moved to PR1420 for acoustic baffles in the Community Ice Rink.

\$60k identified for south garage storage conversion, date of construction to be determined.
(requires \$60k additional funds)

Development of locker rooms on east side of Community Ice Rink is dependent on future bond sales or other funding source.

Type

Parks

Category

Park Facilities

Priority

Desirable

Rank

Finance #

PR1406

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0	0
Arch/Eng	0	0	0	0	0	0	0
Construction	152	60	0	0	0	0	212
Equipment	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	152	60	0	0	0	0	212

Appropriations

	Current Revenues	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0	0
Type A/B Taxes	212	0	0	0	0	0	212
Gen. Fund Revenues	0	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0	0
Fees	0	0	0	0	0	0	0
DevCon	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	212	0	0	0	0	0	212

Source of Funds

Year ID# Project Name

2015

15PXXX

Allen Heritage Village Improvements

Notes

CDC approved \$1,600k in FY14 for improvements to the Allen Heritage Village.

\$12k budget encumbrance moved to this project to allow closure of previous Heritage Village project. (Fund 390, reflected in "other" funding source)

Type

Parks

Category

Park Facilities

Priority

Desirable

Rank

Finance #

CD1401

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	20	21	22	22	0
Supplies	19	19	20	21	0
Services	13	14	14	15	0
Capital	0	0	0	0	0
Total	52	54	56	58	0
FTE	0.40	0.40	0.40	0.40	0.00

Amounts in Thousands

Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0
Arch/Eng	0	0	0	0	0	106
Construction	75	0	0	0	0	1,506
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	75	0	0	0	0	1,612

Appropriations

Current Revenues	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	1,600	0	0	0	0	1,600
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	12	0	0	0	0	12
TOTAL	1,612	0	0	0	0	1,612

Source of Funds

Year ID# Project Name

2014

13P03

CDC Capital Projects - 2014

Notes

Projects approved by CDC Board June 10, 2013

JFRC Renovations: FY14 - \$68k
DRN Renovations: FY14 - \$286k + \$34k in non-bonds
kidMania Renovations: FY14 - \$122k
ASP Field Renovations: FY14 - \$515k
ACIR Acoustic Baffles: FY14 - \$17k + 5k from PR1406
Recreation LED Signs: FY14 - \$102k
SRC Sound System: FY14 - \$15k
The Edge Restroom Partitions: FY14 - \$8k

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	2	5	8	11	0
Supplies	2	4	7	9	0
Services	5	10	11	11	0
Capital	0	0	0	0	0
Total	9	19	26	31	0
FTE	0.10	0.20	0.20	0.30	0.00

Type

Parks

Category

Park Facilities

Priority

Desirable

Rank

Finance #

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	0	0	0	0	0	0
Construction	225	0	0	0	0	1,172
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	225	0	0	0	0	1,172

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	1,138	0	0	0	0	1,138
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	34	0	0	0	0	34
TOTAL	1,172	0	0	0	0	1,172

Source of Funds

Year ID# Project Name

2015

15P0

CDC Capital Projects - 2015

Notes

Projects approved by CDC Board, June 2014

GCAA Entry Monument Match - \$270k

Cardio Fitness Equipment - \$300k

JFRC Renovations - \$75k

Park Pier and Bridge Replacements - \$30k

AEC Chiller/Brine System Repairs/Polar Floor Phase I - \$231k

Don Rodenbaugh Pool Deck - \$50k

Recreation LED signs - \$102k

Bethany Lakes Connector Trail - \$56k

TCWC Capital Equipment - \$45k

Type

Parks

Category

Park Facilities

Priority

Desirable

Rank

Finance #

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	1	2	2	2	0
Supplies	1	2	2	2	0
Services	3	3	5	6	0
Capital	0	0	0	0	0
Total	5	7	9	10	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	0	0	0	0	0	0
Construction	814	0	0	0	0	1,159
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	814	0	0	0	0	1,159

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	1,159	0	0	0	0	1,159
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	1,159	0	0	0	0	1,159

Source of Funds

Year ID# Project Name

2011

06P02

Environmental Discovery Center

Notes

New small facility or adaptive re-use of existing facilities for basic environmental interpretation/education.

Bond authorization passed in May 2007 election.

Bond sale of \$50,000 in FY2010

Bond sale of \$450,000 in June 2015.

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	8	48	50	52	0
Supplies	7	15	15	16	0
Services	10	10	11	11	0
Capital	0	18	0	0	0
Total	25	91	76	79	0
FTE	0.20	1.00	1.00	0.00	0.00

Type

Parks

Category

Park Facilities

Priority

Obligated

Rank

Finance #

Amounts in Thousands

Current Expenditures

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0
Arch/Eng	50	0	0	0	0	50
Construction	450	0	0	0	0	450
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	500	0	0	0	0	500

Appropriations

Current Revenues

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	500	0	0	0	0	500
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	500	0	0	0	0	500

Source of Funds

Year ID# Project Name

2017 17P01

Ford Pool Redevelopment

Notes

CDC approved \$100k for concept plan and design for FY14 on June 10, 2013.

CDC approved \$300k for design of Ford Pool Renovations in 2014.

CDC approved \$2,860k for construction in FY16.

Type

Parks

Category

Park Facilities

Priority

Desirable

Rank

Finance #

PR1412

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

Current Expenditures

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0
Arch/Eng	108	0	0	0	0	205
Construction	3,055	0	0	0	0	3,055
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	3,163	0	0	0	0	3,260

Appropriations

Current Revenues

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	2,860	0	0	0	0	3,260
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	2,860	0	0	0	0	3,260

Source of Funds

Year ID# Project Name

2012 12P07

Parks Security Camera System, Phase 2

Notes

Approved CDC funds (June 18, 2012)

\$117k from Phase 2 carried to FY16 for additional installation.

Type

Parks

Category

Park Facilities

Priority

Essential

Rank

Finance #

PR1313

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	2	2	3	3	0
Supplies	2	2	3	3	0
Services	3	4	5	6	0
Capital	0	0	0	0	0
Total	7	8	11	12	0
FTE	0.00	0.10	0.10	0.10	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	25	0	0	0	0	25
Construction	0	0	0	0	0	0
Equipment	108	0	0	0	0	225
Other	0	0	0	0	0	0
TOTAL	133	0	0	0	0	250

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	250	0	0	0	0	250
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	250	0	0	0	0	250

Source of Funds

Year ID# Project Name

2012

12P04

Bike Route Markings

Notes

Type A/B Taxes is 2014 CDC funds.

FY16 through FY20 revenues assume CDC funding approval.

Type

Parks

Category

Traffic

Priority

Desirable

Rank

Finance #

ST1402

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	0	0	0	0	0	0
Construction	50	50	50	50	50	300
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	50	50	50	50	50	300

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	50	50	50	50	50	300
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	50	50	50	50	50	300

Source of Funds

Year

ID #

Project Name

2012

13P01

Cottonwood Creek Trail/HPP

Notes

Existing funds includes \$654k CDC funds and \$100k in Public Art Bonds.

Intergovernmental grants received total over \$900k:

FY13 \$86k Collin County grant funds for design.

FY13 \$181,500 TPWD Recreational Trail Fund Grant for construction

FY14 \$635,000 Collin County grant funds for construction

Project began construction Spring 2015.

Interpretive trail to be bid in 2015. Additional trail funds to be transferred from PR1404 when bids are received and will budget remaining \$256,510 in grant funds.

Type

Parks

Category

Trail

Priority

Leveraged

Rank

Finance #

PR1206

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	10	10	0	0	0
Supplies	7	7	0	0	0
Services	7	7	0	0	0
Capital	0	0	0	0	0
Total	24	24	0	0	0
FTE	0.30	0.30	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	212	0	0	0	0	212
Construction	1,249	0	0	0	0	1,600
Equipment	0	0	0	0	0	0
Other	100	0	0	0	0	100
TOTAL	1,561	351	0	0	0	1,912

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	100	0	0	0	0	100
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	902	0	0	0	0	902
Type A/B Taxes	910	0	0	0	0	910
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	1,912	0	0	0	0	1,912

Source of Funds

Year ID# Project Name

2001

04CBD

Trail Development

Notes

Construction of trail segments & associated improvements to expand trail system. Finish trail sections along Watters Branch linked to Watters Creek Development

FY16 and beyond subject to Type B board adoption of future 5-year work plan (Includes \$60k for trail replacement)

This is a holding project for CDC allocations which are then transferred out to individual trail projects as needed.

Current trail projects include Cottonwood Creek Trail (PR1206).

Priority

Desirable

Rank

PG03

Finance #

PR1404

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	39	50	62	75	0
Supplies	27	35	44	53	0
Services	27	35	43	52	0
Capital	34	0	0	0	0
Total	127	120	149	180	0
FTE	1.10	1.30	1.60	1.90	0.00

Amounts in Thousands

Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0
Arch/Eng	19	0	0	0	0	19
Construction	1,450	700	700	700	700	4,950
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	1,469	700	700	700	700	4,969

Appropriations

Current Revenues	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	1,469	700	700	700	700	4,969
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	1,469	700	700	700	700	4,969

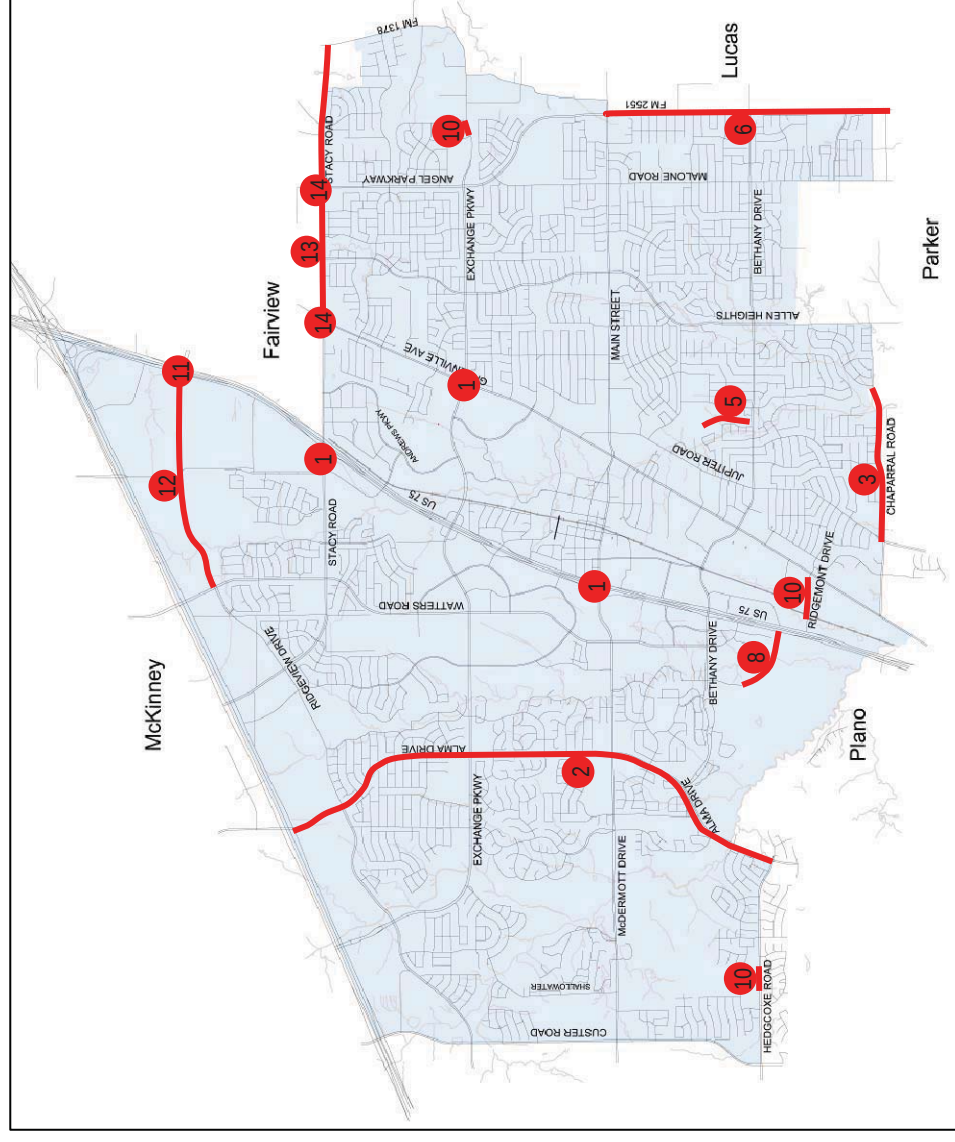
Source of Funds

PUBLIC WORKS

Streets and Drainage projects include street improvements, drainage, and traffic safety improvements.

Streets

- (1) 2015 Intersection Improvements (Various Locations)
- (2) Alma Drive Widening
- (3) Chaparral Road Streetlights
- (4) Collin County Roadway Partnership
- (5) Cottonwood Creek Bank Stabilization
- (6) FM 2551/Angel Parkway (Main to Parker Rd.)
- (7) Median Landscaping/Lighting (Various Locations)
- (8) Montgomery Boulevard Extension
- (9) Olsen & Beverly Elem. Sidewalk Improvements
- (10) Ridgemoor Drive Reconstruction
- (11) Ridgeview & US 75 Interchange
- (12) Ridgeview Drive (Watters to US 75)
- (13) Stacy Road, Ph 2 (Greenville to FM 1378)
- (14) Stacy Traffic Signals (Greenville and Angel)



Year

ID #

Project Name

2015

15S08

2015 Intersection Improvements (Various Locations)

Notes

Addition of Right Turn Lanes at the following intersections:

-Eastbound and Westbound McDermott Drive at US 75

-Northbound Greenville Avenue at Exchange Parkway

-Eastbound Stacy Road at US 75, if applicable.

GO Bond funds programmed from "Other Roadways - Match/Partnerships."

Intergovernmental is 50% partnership funding with Collin County (2007 Discretionary Funds) up to a total of \$450k.

Fees is \$150k in Impact Fees (RI0203).

"Other" is \$300k from non-bond funds (ST9999).

Type

Public Works

Category

Streets

Priority

Leveraged

Rank

Finance #

ST1504

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0	0
Arch/Eng	90	0	0	0	0	0	90
Construction	0	810	0	0	0	0	810
Equipment	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	90	810	0	0	0	0	900

Appropriations

	Current Revenues	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0	0
Intergovernmental	450	0	0	0	0	0	450
Type A/B Taxes	0	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0	0
Fees	150	0	0	0	0	0	150
DevCon	0	0	0	0	0	0	0
Other	300	0	0	0	0	0	300
TOTAL	900	0	0	0	0	0	900

Source of Funds

Year ID# Project Name

2015 15S07

Alma Drive Widening

Notes

Widening of Alma Drive from Hedgcoxe to SH 121.

FY15 GO Bond funds: \$1,650k programmed from "Other Roadways-Match/Partnerships" plus \$750k Stacy Road bond surplus (from Ridgeview Drive ST1202).

FY16 GO Bonds require voter authorization through a bond election.

Intergovernmental is 50% partnership funding with Collin County (2007 Discretionary Funds) up to a total of \$2,750k.

Fees is \$230k in Impact Fees (RI0202).

Other is \$120k non-bond funds.

Type

Public Works

Category

Streets

Priority

Leveraged

Rank

Finance #

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0	0
Arch/Eng	200	300	0	0	0	0	500
Construction	0	2,500	2,500	0	0	0	5,000
Equipment	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	200	2,800	2,500	0	0	0	5,500

Appropriations

	Current Revenues	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	2,400	0	0	0	0	0	2,400
Revenue Bonds	0	0	0	0	0	0	0
Intergovernmental	250	2,500	0	0	0	0	2,750
Type A/B Taxes	0	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0	0
Fees	230	0	0	0	0	0	230
DevCon	0	0	0	0	0	0	0
Other	120	0	0	0	0	0	120
TOTAL	3,000	2,500	0	0	0	0	5,500

Source of Funds

Year ID # Project Name

2015 15D01

Bank Stabilization / Erosion / Drainage Projects

Notes

GO Bonds require voter authorization for future debt issuance.

Type

Public Works

Category

Drainage

Priority

Maintenance

Rank

Finance #

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	0	50	50	90	90	280
Construction	0	450	450	910	910	2,720
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	0	500	500	1,000	1,000	3,000

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	0	500	500	1,000	1,000	3,000
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	0	500	500	1,000	1,000	3,000

Source of Funds

Year ID # Project Name

2013

13PW01

Chaparral Road Streetlights

Notes

Street lighting with Chaparral Road expansion

Transfer \$73k non-bond funds from Chaparral Bridge project (ST9904)

"Other" is \$73k program savings and \$267k median improvement fee revenue.

Type

Public Works

Category

Streets

Priority

Desirable

Rank

Finance #

ST1303

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	40	0	0	0	0	40
Construction	0	300	0	0	0	300
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	40	300	0	0	0	340

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	73	267	0	0	0	340
TOTAL	73	267	0	0	0	340

Source of Funds

Year

ID #

Project Name

2013

13S04

Citywide Traffic Signal Upgrades/Modifications

Notes

FY17-FY19 Project: Conversion of 38 (~13/yr) existing traffic signals' permissive left turn "green ball" to flashing yellow arrows.

FY20 Project: Reconstruction of 18 split phased intersections and conversion of 46 signal cabinets to improved technology.

Bond funds require voter authorization in future election.

"Other" represents Unallocated Streets funds.

Type

Public Works

Category

Streets

Priority

Desirable

Rank

Finance #

ST1505

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

Current
Expenditures

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0
Arch/Eng	0	0	0	0	57	57
Construction	50	115	115	120	443	843
Equipment	0	55	55	60	500	670
Other	0	0	0	0	0	0
TOTAL	50	170	170	180	1,000	1,570

Appropriations

Current
Revenues

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	170	170	180	1,000	1,520
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	50	0	0	0	0	50
TOTAL	50	170	170	180	1,000	1,570

Source of Funds

Year

ID #

Project Name

2015

15S01

Collin County Roadway Partnership

Notes

New project based on approval from Collin County for one of the following projects:

Projects Considered prior to 2020:

Watters Road Widening (McDermott - SH 121) - \$5.5M

McDermott Drive Widening (US75 - Greenville) - \$1.4M

Angel Parkway (Stacy - Main) - \$3.1M

Projects Considered Following 2020:

Chelsea Widening (Stacy - SH 121) - \$1.9M

Exchange Parkway Widening (Allen Heights - Angel) - \$700k

Hedgcoxe Widening (Alma - Custer) - \$1.5M

GO Bond funding requires voter authorization in future bond election.

Intergovernmental is potential Collin County bonds (50/50 match)

Type

Public Works

Category

Streets

Priority

Leveraged

Rank

Finance #

STXXXX

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures	0	0	0	0	0	0
Acquisition	0	0	0	0	0	0
Arch/Eng	0	500	0	150	350	1,000
Construction	0	5,000	0	1,250	2,750	9,000
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	0	5,500	0	1,400	3,100	10,000

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues	0	2,750	0	700	1,550	5,000
GO Bonds	0	2,750	0	700	1,550	5,000
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	2,750	0	700	1,550	5,000
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	0	5,500	0	1,400	3,100	10,000

Source of Funds

Year ID# Project Name

2015 15D02

Cottonwood Creek Bank Stabilization

Notes

Structural solution to the channel bank erosion of Cottonwood Creek, north of Bethany, east of Ashwood Drive.

GO Bond funding is \$200k from FY14 Drainage Improvements and \$215k from FY15 Drainage Improvements.

Type A/B Taxes is \$85k in CDC Trail Maintenance Funds.

"Other" is \$150k from Water/Sewer Enterprise Funds plus \$100 in project savings.

Type
Public Works

Category
Drainage

Priority
Essential

Rank

Finance #
DR1401

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0	0
Arch/Eng	100	0	0	0	0	0	100
Construction	500	150	0	0	0	0	650
Equipment	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	600	150	0	0	0	0	750

Appropriations

	Current Revenues	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	415	0	0	0	0	0	415
Revenue Bonds	0	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0	0
Type A/B Taxes	85	0	0	0	0	0	85
Gen. Fund Revenues	0	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0	0
Fees	0	0	0	0	0	0	0
DevCon	0	0	0	0	0	0	0
Other	250	0	0	0	0	0	250
TOTAL	750	0	0	0	0	0	750

Source of Funds

Year ID # Project Name

2003 02S02

FM 2551 (Angel Parkway) - Main St. to Parker Rd.

Notes

TxDOT project - Not scheduled for construction.

Collin County currently managing engineering.

Current City funding from developer contributions at \$1.094M

Assumes RTR funding at 80%

Proposed 4 lanes (build within the existing ROW)

Multi-jurisdictional: Allen, Collin County, Parker, and Lucas

Intergovernmental assumes \$3M Collin County, \$24.74M TxDOT

Type

Public Works

Category

Streets

Priority

Leveraged

Rank

SA14

Finance #

ST0316

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	3,000	0	0	0	3,000
Arch/Eng	700	1,000	0	0	0	1,700
Construction	0	5,000	10,000	9,134	0	24,134
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	700	9,000	10,000	9,134	0	28,834

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	700	7,906	10,000	9,134	0	27,740
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	1,094	0	0	0	0	1,094
Other	0	0	0	0	0	0
TOTAL	1,794	7,906	10,000	9,134	0	28,834

Source of Funds

Year ID # Project Name

2010 10S01

Median / Lighting (Various Locations)

Notes

Streetscape and street lighting: various locations subject to selection at time of issuance.

"Other" funding is median improvement fee revenue (ST9998).

Bond funds require voter authorization at future bond election.

Future projects to consider:

Bossy Boots (Watters to Exchange) \$180k

Junction Drive (Watters to Raintree) \$250k

Other corridors as roadways are widened and reach ultimate median configuration.

Type

Public Works

Category

Streets

Priority

Desirable

Rank

SA16

Finance #

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	50	0	50	0	50	150
Construction	0	430	400	0	400	1,230
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	50	430	450	0	450	1,380

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	0	300	0	300	0	600
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	480	150	0	150	0	780
TOTAL	480	450	0	450	0	1,380

Source of Funds

Year ID# Project Name

2015 15S03

Montgomery Boulevard Extension

Notes

Extension of Montgomery from Watters Creek to US 75.

\$129k waterline portion of the project funded by WA9999.

"Other" is \$716k from Unallocated Streets fund, \$500k from Wretched Land and reimbursement from Watters Creek Owners (WCO) contributions over three years (FY15 \$600k, FY17 \$700k, and FY18 remainder).

Project budget was fully funded in FY15 using a non-bond interproject loan from ST1202.

Type

Public Works

Category

Streets

Priority

Leveraged

Rank

Finance #

ST1403

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0	0
Arch/Eng	237	0	0	0	0	0	237
Construction	2,000	1,163	0	0	0	0	3,163
Equipment	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	2,237	1,163	0	0	0	0	3,400

Appropriations

	Current Revenues	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0	0
Oper. Revenues	129	0	0	0	0	0	129
Fees	0	0	0	0	0	0	0
DevCon	0	0	0	0	0	0	0
Other	3,271	0	0	0	0	0	3,271
TOTAL	3,400	0	0	0	0	0	3,400

Source of Funds

Year ID # Project Name

2015

15S05

New Traffic Signal Construction

Notes

Installation of 3 new traffic signals in various locations throughout the City.

"Fees" is Impact Fee funds.

Type

Public Works

Category

Streets

Priority

Desirable

Rank

Finance #

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

Current Expenditures

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0
Arch/Eng	0	20	20	20	0	60
Construction	0	280	280	280	0	840
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	0	300	300	300	0	900

Appropriations

Current Revenues

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	300	300	300	0	900
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	0	300	300	300	0	900

Source of Funds

Year ID # Project Name

2015 15S06

Olsen & Beverly Elementary Sidewalk Improvements

Notes

Partnership with NCTCOG TIP to improve sidewalk accessibility at Olsen and Beverly Elementary Schools.

"Other" is transfer from Unprogrammed Streets fund.

City of Allen funds to be reimbursed 80% upon completion of construction.

Type

Public Works

Category

Streets

Priority

Leveraged

Rank

Finance #

ST1501

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0	0
Arch/Eng	0	0	0	0	0	0	0
Construction	150	50	0	0	0	0	200
Equipment	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	150	50	0	0	0	0	200

Appropriations

Current
Revenues

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	200	0	0	0	0	200
TOTAL	200	0	0	0	0	200

Source of Funds

Year ID # Project Name

2015

15S04

Ridgemonst Drive Reconstruction

Notes

Rebuilding of Ridgemonst Drive from Greenville Avenue west past the current railroad crossing.

Design and reconstruction phase services provided by IntelliEPI

Type A/B Taxes is \$472k AEDC "Road Grant"

Type

Public Works

Category

Streets

Priority

Leveraged

Rank

Finance #

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	100	0	0	0	0	100
Construction	0	0	0	0	0	622
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	100	622	0	0	0	722

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	472	0	0	0	0	472
Gen. Fund Revenues	250	0	0	0	0	250
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	722	0	0	0	0	722

Source of Funds

Year

ID #

Project Name

2007

07S04

Ridgeview & US 75 Interchange

Notes

Replace Ridgeview and US 75 Interchange - TxDOT, AEDC, and Collin County partnership.

Potential EDC Participation, however, not formally committed at this time.

Construction not currently funded.

May be funded through TxDOT.

Requires voter authorization for future debt issuance.

Type

Public Works

Category

Streets

Priority

Leveraged

Rank

SA09

Finance #

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

Current
Expenditures

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	1,000	0	0	1,000
Arch/Eng	0	2,750	0	0	0	2,750
Construction	0	0	23,660	4,590	0	28,250
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	0	2,750	24,660	4,590	0	32,000

Appropriations

Current
Revenues

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	3,200	0	0	3,200
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	2,750	21,460	4,590	0	28,800
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	0	2,750	24,660	4,590	0	32,000

Source of Funds

Year ID# Project Name

2013 13S01

Ridgeview Drive (Watters to US 75)

Notes

Voter bond authorization May 2007

The estimate for 4-lanes: Watters to Chelsea (\$5.5M), Chelsea to US 75 (\$3.5M)

Next phase of construction is anticipated for 2-lanes paving from Watters to Chelsea and a 6-lane bridge (\$3.8M)

FY17-FY19 GO Bonds require voter authorization for future debt issuance.

Intergovernmental is remaining Collin County ILA funds (originally \$3,780k)

"535k "fees" is funding the water and sewer portion of the project.

"Other" is payback of interproject loan from Montgomery Boulevard Extension with reimbursement from WCO of \$600k, \$700k, and \$755 over a 3-year period.

Type

Public Works

Category

Streets

Priority

Leveraged

Rank

Finance #

ST1202

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	200	0	200
Arch/Eng	0	0	350	0	400	0	750
Construction	0	0	500	3,000	0	4,550	8,050
Equipment	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	0	0	850	3,000	600	4,550	9,000

Appropriations

	Current Revenues	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	1,605	0	300	4,250	6,155
Revenue Bonds	0	0	0	0	0	0	0
Intergovernmental	2,310	0	0	0	0	0	2,310
Type A/B Taxes	0	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0	0
Fees	0	0	320	0	0	215	535
DevCon	0	0	0	0	0	0	0
Other	-1,455	700	755	0	0	0	0
TOTAL	855	700	2,680	0	300	4,465	9,000

Source of Funds

Year ID # Project Name

2007

07PW02

Stacy Road, Phase 2 (Greenville to FM 1378)

Notes

4 lane divided roadway - Managed/Designed by TxDOT

Voter Authorization in May 2007.

Total Project Cost - \$20.5M.

City of Allen participation is \$860,000 + \$211,000 for ROW

GO Bonds is remainder from FY09 Bond sales.

Type

Public Works

Category

Streets

Priority

Essential

Rank

Finance #

ST0704

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	211
Arch/Eng	0	0	0	0	0	0
Construction	31	0	0	0	0	890
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	31	0	0	0	0	1,101

Appropriations

Current Revenues	
GO Bonds	16
Revenue Bonds	0
Intergovernmental	0
Type A/B Taxes	0
Gen. Fund Revenues	0
Oper. Revenues	0
Fees	0
DevCon	1,085
Other	0
TOTAL	1,101

Source of Funds

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	0	0	16
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	1,085
Other	0	0	0	0	0	0
TOTAL	0	0	0	0	0	1,101

Page

PW-16

Year ID# Project Name

2013

13PW03

Stacy Traffic Signals (Greenville and Angel)

Notes

New Traffic Signal Equipment

TxDOT plans for Stacy Road include new signals at SH 5 and at Angel.

\$130k in "other" transfer from closed project ST0904 and other project savings within the program.

Per agreement, TxDOT to reimburse the City \$90k

Type

Public Works

Category

Streets

Priority

Leveraged

Rank

Finance #

ST1104

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	18	0	0	0	0	18
Construction	0	0	0	0	0	0
Equipment	112	0	0	0	0	112
Other	0	0	0	0	0	0
TOTAL	130	0	0	0	0	130

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	130	0	0	0	0	130
TOTAL	130	0	0	0	0	130

Source of Funds

Year ID # Project Name

2008 01S02

Street and Alley Replacement

Notes

Routine replacement of street and alley failure at various locations.

Voter authorization for bonds May 2007

Operating Revenues are from the Solid Waste Fund and includes \$500k transfer out mid-yr FY15

GO Bonds include 2013 Streets and Alleys Project Savings (\$96k) + \$50k Facility Upgrade Savings.

"Other" is \$41k project savings from ST1305.

Type

Public Works

Category

Street Maintenance

Priority

Obligated

Rank

SM01

Finance #

ST1502

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0	0
Arch/Eng	0	0	0	0	0	0	0
Construction	1,237	400	300	300	300	300	2,837
Equipment	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	1,237	400	300	300	300	300	2,837

Appropriations

Current
Revenues

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	0	0	146
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	400	300	300	300	300	2,650
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	41
TOTAL	400	300	300	300	300	2,837

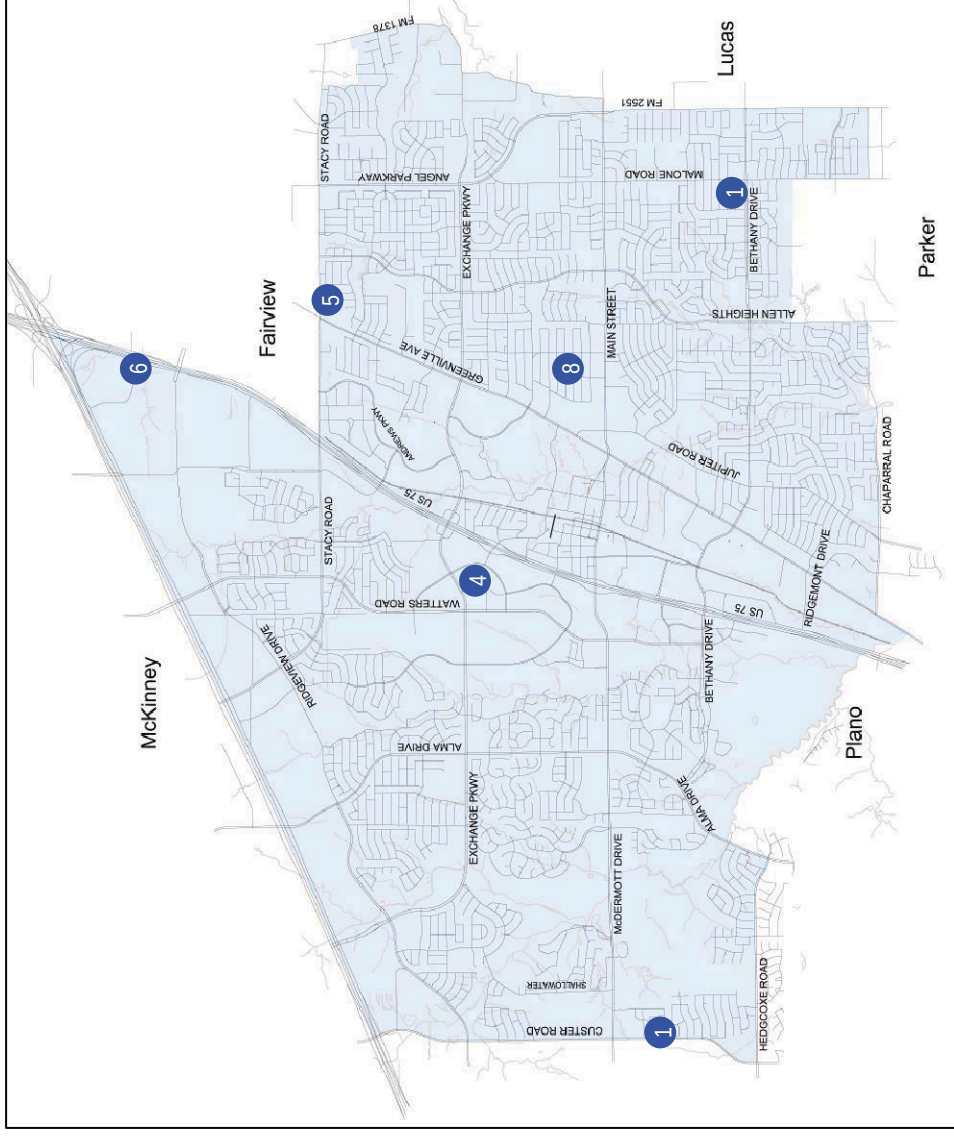
Source of Funds

2015-2019 CAPITAL IMPROVEMENT PROGRAM

UTILITIES

Water and wastewater projects require coordination of public improvements and system maintenance. System improvements are required to meet state permit requirements and to meet increases in demand in certain parts of the community. Line extensions are required to meet demand and to complete looping.

- (1) Custer Tower and Bethany Tower Repaint
- (2) Lift Station Maintenance
- (3) Pump Station Maintenance
- (4) Rowlett Tower Repaint
- (5) Stacy Road Ground Storage #2 Repaint
- (6) US 75 Lift Station & 12" Force Main
- (7) Water Line and Sewer Main Replacement



Year ID # Project Name

2013

13W02

Automatic Meter Reading Retrofit

Notes

Total conversion of meters city-wide estimated to be \$7 million.

Operational Revenues could potentially be from savings from not replacing existing meters, in anticipation of conversion.

"Other" is possible operating fund transfer, to be determined and reviewed during next Water/Sewer Rate Study.

Type

Utilities

Category

Water

Priority

Desirable

Rank

Finance #

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	0	100	100	0	0	200
Construction	0	0	0	0	0	0
Equipment	0	1,000	1,773	4,000	0	6,773
Other	0	0	0	0	0	0
TOTAL	0	1,100	1,873	4,000	0	6,973

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	350	1,123	350	400	400	2,823
Fees	100	0	0	0	0	100
DevCon	0	0	0	0	0	0
Other	0	0	1,350	1,350	1,350	4,050
TOTAL	300	1,123	1,700	1,750	1,750	6,973

Source of Funds

Year ID # Project Name

2012

12W01

Custer Tower and Bethany Tower Repaint

Notes

Repaint tower bowls built in 2000

\$950k programmed in FY17 Water CIP Funding.

Type

Utilities

Category

Water

Priority

Maintenance

Rank

Finance #

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	0	0	0	0	0	0
Construction	400	550	0	0	0	950
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	400	550	0	0	0	950

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	400	550	0	0	0	950
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	400	550	0	0	0	950

Source of Funds

Year ID # Project Name

2015

15W01

Lift Station Maintenance

Notes

New Equipment for existing City lift station sites.

Type

Utilities

Category

Water

Priority

Essential

Rank

Finance #

WA1204

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

Current Expenditures

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0
Arch/Eng	0	0	0	0	0	0
Construction	0	0	0	0	0	0
Equipment	62	100	100	100	100	815
Other	0	0	0	0	0	0
TOTAL	62	100	100	100	100	815

Appropriations

Current Revenues

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	345	100	100	100	100	815
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	345	100	100	100	100	815

Source of Funds

Year ID # Project Name

2015

15W02

Pump Station Maintenance

Notes

New equipment for existing City pump stations.

Type

Utilities

Category

Water

Priority

Essential

Rank

Finance #

WA1203

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

Current Expenditures

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0
Arch/Eng	0	0	0	0	0	0
Construction	0	0	0	0	0	0
Equipment	115	125	125	125	125	1,087
Other	0	0	0	0	0	0
TOTAL	115	125	125	125	125	1,087

Appropriations

Current Revenues

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	125	125	125	125	125	1,087
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	125	125	125	125	125	1,087

Source of Funds

Year ID # Project Name

2012

12W02

Rowlett Tower Repaint

Notes

Repaint entire water tower.

Fluted-stem steel tower.

Type

Utilities

Category

Water

Priority

Maintenance

Rank

Finance #

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	0	70	0	0	0	70
Construction	0	680	0	0	0	680
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	0	750	0	0	0	750

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	750	0	0	0	750
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	0	750	0	0	0	750

Source of Funds

Year ID # Project Name

2011

11W01

Stacy Road Ground Storage #2 Repair

Notes

Repaint Interior/Exterior of 3MG Steel Tank.

Tank #1 was originally repainted in 2007 and should last until 2022.

Remedial work on Tank #2 completed to defer complete repaint to 2016

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Type

Utilities

Category

Water

Priority

Essential

Rank

Finance #

Amounts in Thousands

Current Expenditures

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0
Arch/Eng	60	0	0	0	0	60
Construction	610	0	0	0	0	610
Equipment	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	670	0	0	0	0	670

Appropriations

Current Revenues

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	670	0	0	0	0	670
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	670	0	0	0	0	670

Source of Funds

Year ID # Project Name

2004

04X01

US 75 Lift Station & 12" Force Main

Notes

Provides sewer service along US 75 north of Premium Outlet Mall.

Size dependent upon Howard Hughes Development and timing.

"Fees" is sewer impact fees collected to date (WA8100)

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Type

Utilities

Category

Wastewater

Priority

Essential

Rank

W04

Finance #

WA0401

Amounts in Thousands

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0	0
Arch/Eng	25	325	0	0	0	0	350
Construction	0	0	3,850	0	0	0	3,850
Equipment	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	25	325	3,850	0	0	0	4,200

Appropriations

	Current Revenues	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0	0
Oper. Revenues	450	0	0	0	0	0	450
Fees	3,750	0	0	0	0	0	3,750
DevCon	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	4,200	0	0	0	0	0	4,200

Source of Funds

Year ID # Project Name

2015

15W03

Water & Sewer SCADA System Upgrade

Notes

Upgrade to the existing system placed in 2012 (software/hardware).

"Fees" are unprogrammed water/sewer pro-rata fees. (WA8888)

Type

Utilities

Category

Water

Priority

Essential

Rank

Finance #

WA1402

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Expenditures						
Acquisition	0	0	0	0	0	0
Arch/Eng	47	0	0	0	0	47
Construction	0	0	0	0	0	0
Equipment	228	0	0	0	0	453
Other	0	0	0	0	0	0
TOTAL	272	0	0	0	0	500

Appropriations

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Current Revenues						
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	0	0	0	0	0	0
Fees	500	0	0	0	0	500
DevCon	0	0	0	0	0	0
Other	0	0	0	0	0	0
TOTAL	500	0	0	0	0	500

Source of Funds

Year ID # Project Name

2015 15U01

Water Line and Sewer Main Replacement

Notes

Replacement of deteriorated water and sanitary sewer pipe in various locations.

Current FY15 project, Fountain Park, Section 1 & 2 (Design) and Section 1 (Construction).

FY16 project, Fountain Park, Section 2 (Construction).

Future neighborhoods:

Windridge
Hillside

"Other" is fund transfer from WA1105 plus \$312k fund transfer from WA1209.

Type

Utilities

Category

Water & Wastewater

Priority

Maintenance

Rank

Finance #

WA1403

Operations and Maintenance

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020
Personnel	0	0	0	0	0
Supplies	0	0	0	0	0
Services	0	0	0	0	0
Capital	0	0	0	0	0
Total	0	0	0	0	0
FTE	0.00	0.00	0.00	0.00	0.00

Amounts in Thousands

	Current Expenditures	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
Acquisition	0	0	0	0	0	0	0
Arch/Eng	221	0	258	160	160	300	1,099
Construction	2,379	2,800	2,200	2,090	2,090	2,700	14,259
Equipment	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0
TOTAL	2,600	2,800	2,458	2,250	2,250	3,000	15,358

Appropriations

Current
Revenues

	FY 2016	FY 2017	FY 2018	FY 2019	FY 2020	TOTAL
GO Bonds	0	0	0	0	0	0
Revenue Bonds	0	0	0	0	0	0
Intergovernmental	0	0	0	0	0	0
Type A/B Taxes	0	0	0	0	0	0
Gen. Fund Revenues	0	0	0	0	0	0
Oper. Revenues	1,500	1,500	2,250	2,250	3,000	12,100
Fees	0	0	0	0	0	0
DevCon	0	0	0	0	0	0
Other	3,258	0	0	0	0	3,258
TOTAL	4,758	1,500	2,250	2,250	3,000	15,358

Source of Funds

GLOSSARY

AEDC. Allen Economic Development Corporation

ACCOUNTABILITY. Actions which provide for the responsibility of government to answer to the citizenry for the need and use of public funds.

ACCOUNTING SYSTEM. The methods and records established to identify, assemble, analyze, classify, record and report a government's transactions and to maintain accountability for the related assets and liabilities.

AD VALOREM TAX. A tax computed from the assessed valuation of land and improvements.

ANNUAL BUDGET. A plan of financial operation embodying an estimate of proposed means of financing it. The "operating budget" is the financial plan adopted for a single fiscal year. The "proposed budget" designates the financial plan initially developed by departments and presented by the City Manager to the Council for approval. The "adopted budget" is the plan as modified and finally approved by that body. The approved budget is authorized by ordinance and thus specifies the legal spending limits for the fiscal year.

APPROPRIATED BUDGET. The expenditure authority created by appropriation ordinances and the related estimated revenues. The appropriated budget would include all reserves, transfers, allocations, supplemental appropriations and other legally authorized legislative and executive changes.

APPROPRIATION. An authorization made by the legislative body of a government that permits officials to incur obligations against and to make expenditures of governmental resources. Specific appropriations are usually made at the fund level and are granted for a one year period.

ARBITRAGE. The ability to obtain tax-exempt bond proceeds and invest the funds in higher yielding taxable securities resulting in a profit. Arbitrage restriction requirements describe the circumstances in which investment in materially higher yielding securities is allowed without compromising the tax-exempt status of the bond issue. The rebate requirements identify what must be done with profits earned from those securities under the arbitrage restriction requirements.

ASSESSED VALUATION. A value that is established for real or personal property for use as a basis for levying property taxes. (Note: property values are established by the Central Appraisal District.)

ASSESSMENT. The process of making the official valuation of property for taxation, or the valuation placed upon property as a result of this process.

ASSETS. Resources owned or held by the City which have monetary value.

BONDS AUTHORIZED AND UNISSUED. Bonds that have been authorized legally but not issued and that can be issued and sold without further authorization.

BUDGET. A plan of financial operation embodying an estimate of proposed means of financing it. The "operating budget" is the financial plan adopted for a single fiscal year. The "proposed budget" designates the financial plan initially developed by departments and presented by the City Manager to the Council for approval. The "adopted budget" is the plan as modified and finally approved by that body. The approved budget is authorized by ordinance and thus specifies the legal spending limits for the fiscal year.

BUDGETARY ACCOUNTS. Accounts used to enter the formally adopted annual operating budget into the general ledger.

BUDGETARY CONTROL. The control or management of a government or enterprise in accordance with an approved budget to maintain expenditures within the limitations of available appropriations and available revenues.

BUDGET DOCUMENT. The compilation of the spending plans for the various funds, along with supporting schedules, tables and charts which, in total, comprises the annual revenue and expenditure plan.

CDC. Community Development Corporation

CAPITAL EXPENDITURES. Expenditures resulting in the acquisition of or addition to the government's general fixed assets. Capital expenditures include those used to construct or purchase a facility or an asset that is expected to provide services over a 20-year span and have a cost greater than \$50,000.

CAPITAL PROGRAM. A plan for capital expenditures to be incurred each year over a fixed period of years to meet capital needs arising from the long-term work program or other capital needs. It sets forth each project or other contemplated expenditure in which the government is to have a part and specifies the resources estimated to be available to finance the projected expenditures.

DEBT. An obligation resulting from the borrowing of money or from the purchase of goods and services. Government debt includes bonds, time warrants and notes.

DEBT LIMIT. The maximum amount of outstanding gross or net debt legally permitted by law.

DEBT SERVICE FUND. A fund used to account for the monies set aside for the payment of interest and principal to holders of the City's general obligation and revenue bonds, the sale of which finances long-term capital improvements, such as facilities, streets and drainage, parks and waste/wastewater systems. Sometimes referred to as a SINKING FUND.

DEBT SERVICE FUND REQUIREMENTS. The resources that must be provided for a debt service fund so that all principal and interest payments can be made in full and on schedule.

DEBT SERVICE REQUIREMENTS. The amount of money required to pay interest on outstanding debt, serial maturities of principal for serial bonds and required contributions to accumulate moneys for future retirement of term bonds.

ENCUMBRANCES. Obligations in the form of purchase order, contracts or salary commitments which are chargeable to an appropriation and for which a part of the appropriation is reserved. When paid, the encumbrance is liquidated.

EXPENDITURES. Decreases in net financial resources. Expenditures include current operating expenses requiring the present or future use of net current assets, debt service and capital outlays, and intergovernmental grants, entitlements and shared revenues.

EXPENSES. The cost of goods received or services rendered whether cash payments have been made or encumbered.

FISCAL PERIOD. A twelve-month period designated as the operating year for accounting and budgeting purposes in an organization. The City of Allen has specified October 1 to September 30 as its fiscal year.

FISCAL YEAR. A 12-month period to which the annual operating budget applies.

FIXED BUDGET. A budget setting forth dollar amounts that are not subject to change based on the volume of goods or services to be provided.

FUND. An accounting device established to control receipt and disburse income from sources set aside to support specific activities or attain certain objectives. Each fund is treated as a distinct fiscal entity with a self-balancing set of accounts.

FUND BALANCE. The excess of a fund's current assets over its current liabilities; sometimes called *working capital* in enterprise funds. A negative fund balance is often referred to as a *deficit*.

FUND TYPE. The fund used to account for all financial resources, except those required to be accounted for in another fund.

GENERAL FUND REVENUES. The fund used to account for all financial resources except those required to be accounted for in another fund. The General Fund is tax supported.

GENERAL OBLIGATION (G.O.) BONDS. City of Allen funding sources include general obligation bonds issued and outstanding. G.O. Bonds require voter approval, and are issued with City Council approval.

G.O. BONDS PROPOSED. City of Allen funding sources include proposed general obligation bonds. These are bonds that have not yet been issued or may not yet have been approved by the voters. All G.O. bonds require authorization by the voters.

GENERALLY ACCEPTED ACCOUNTING PRINCIPLES (GAAP). Detailed accounting standards and practices for state and local governments as prescribed by the Governmental Accounting Standards Board (GASB).

MAINTENANCE. The act of keeping capital assets in a state of good repair. It includes preventive maintenance, normal periodic repairs; replacement of parts, structural components and other activities needed to maintain the asset so that it continues to provide normal services and achieves its optimum life.

OBLIGATIONS. Amounts a government may be required legally to meet out of its resources. They include not only actual liabilities, but also unliquidated encumbrances.

OTHER REVENUES. Funding sources include revenues from the hotel/motel tax, street assessment fees, street escrow fees, interest from G.O. bonds; private contributions, and others.

OPERATING BUDGET. Plans of current expenditures and the proposed means of financing them. The annual operating budget is the primary means by which most of the financing, acquisition, spending, and service delivery activities of the City are controlled. State Law requires the use of annual operating budgets.

REPLACEMENT COST. The cost of an asset which can render similar service (but which need not be of the same structural form) as the property to be replaced.

RESERVED FUND BALANCE. Those portions of fund balance that are not appropriate for expenditure or that are legally segregated for a specific future use.

REVENUES. (1) Increases in the net current assets of a governmental fund type from other than expenditure refunds and residual equity transfers. General long-term debt proceeds and operating transfers-in are classified as "other financing sources" rather than as revenues. (2) Increases in the net total assets of a proprietary fund type from other than expense refunds, capital contributions and residual equity transfers. Operating transfers-in are classified separately from revenues.

SPECIAL ASSESSMENT. A compulsory levy made against certain properties to defray all or part of the cost of a specific capital improvement or service deemed to benefit primarily those properties.

SUBFUNCTION. A grouping of related activities within a particular government function (e.g., police is a subfunction of public safety).

TAXES. Compulsory charges levied by a government for the common benefit. This term does not include specific charges made against particular persons or property for current or permanent benefits, such as special assessments. Neither does the term include charges for services rendered only to those paying such charges (e.g., sewer service charges).

TYPE A/B TAXES. Art. 5190.6. Vernon's Texas Civil Statutes (the Development Corporation Act of 1979) Section 4A allocates ½ cent sales tax collected through the Community Development Corporation (CDC). Section 4B allocates ½ cent sales tax to the Allen Economic Development Corporation (AEDC).

TxDOT. Texas Department of Transportation.

UNENCUMBERED APPROPRIATION. That portion of an appropriation not yet expended or encumbered.

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