



**AGENDA
CITY OF ALLEN
PLANNING AND ZONING COMMISSION
REGULAR MEETING
TUESDAY, FEBRUARY 2, 2016 – 7:00 P.M.
CITY COUNCIL CHAMBERS
ALLEN CITY HALL
305 CENTURY PARKWAY
ALLEN, TEXAS 75013**

Call to Order and Announce a Quorum is Present

Pledge of Allegiance

Directors Report

1. Action taken on the Planning & Zoning Commission items by City Council at the January 26, 2016, regular meeting.

Consent Agenda *(Routine P&Z business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.)*

2. Approve minutes from the January 19, 2016, regular meeting.
3. Final Plat – Consider a request for a Final Plat for Estates of Twin Creeks, Phase II, being 29.138± acres located in the Jesse A. Gough Survey, Abstract 347, City of Allen, Collin County, Texas; generally located southwest of Shallowater Drive and Lexington Avenue. (FP-1/13-16-5) [Estates of Twin Creeks, Phase II]

Regular Agenda

4. Public Hearing – Conduct a Public Hearing and consider a request to change the base zoning of a portion of Tract C of Planned Development PD No. 98 (to be re-designated as Tract C-1) from Townhome Residential TH to Single-Family Residential R-7, and adopt a Concept Plan, Development Regulations, and Building Elevations. The property is a 4.247± acre tract in the J.W. Parsons Survey, Abstract No. 705, City of Allen, Collin County, Texas; generally located south of Ridgeview Drive and west of Twin Creeks Drive. (Z-7/21/15-49) [Ridgeview Villas]

Executive Session (As Needed)

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

Adjournment

This notice was posted at Allen City Hall, 305 Century Parkway, Allen, Texas, at a place convenient and readily accessible to the public at all times. Said notice was posted on Friday, January 29, 2016 at 5:00 p.m.

Shelley B. George, City Secretary

Allen City Hall is wheelchair accessible. Access to the building and special parking are available at the entrance facing Century Parkway. Requests for sign interpreters or special services must be received forty-eight (48) hours prior to the meeting time by calling the City Secretary at 214-509-4105.

Director's Report from 1/26/2016 City Council Meeting

- The request to adopt an Ordinance to change the base zoning from Agriculture Open Space AO to Single-Family Residential District R-7, and adopt a Concept Plan, Development Regulations, and Building Elevations for a 74.601± acre portion of Planned Development PD No. 105, generally located south of Bethany Drive and east of Brett Drive, for Montgomery Farm Estates, was tabled to the February 23, 2016, City Council meeting.



**PLANNING AND ZONING
COMMISSION**

**Regular Meeting
January 19, 2016**

ATTENDANCE:

Commissioners Present:

Jeff Cocking, Chair
Ben Trahan, 1st Vice-Chair
Stephen Platt, Jr., 2nd Vice-Chair
Luke Hollingsworth
Shirley Mangrum
Michael Orr

Absent:

John Ogrizovich

City Staff Present:

Ogden "Bo" Bass, AICP, Director of Community Development
Tiffany McLeod, AICP, Senior Planner
Madhuri Kulkarni, AICP, Planner
David Dodd, City Attorney

Call to Order and Announce a Quorum is Present:

With a quorum of the Commissioners present, Chairman Cocking called the meeting to order at 7:00 p.m. in the City Hall Council Chambers Room at Allen City Hall, 305 Century Parkway.

Director's Report

1. Action taken on the Planning & Zoning Commission items by City Council at the January 12, 2016 regular meeting, attached.

Consent Agenda (*Routine P&Z business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.*)

2. Capital Improvement Program (CIP) Status Report.
3. Approve minutes from the January 5, 2016, regular meeting.
4. Final Plat – Consider a request for a Final Plat for Lots 1 & 2, Block A, Allen Business Center II, being 6.533± acres and consisting of a 4.49± acre tract and a portion of Tract M, Allen Business Center II, located in the William Perrin Survey, Abstract No. 708, City of Allen, Collin County, Texas; generally located north of Bethany Drive and west of Greenville Avenue. (RP-12/9/15-90) [Allen Business Center II]

Motion: Upon a motion by Commissioner Mangrum, and a second by Commissioner Hollingsworth, the Commission voted 6 IN FAVOR, and 0 OPPOSED to approve the Consent Agenda.

The motion carried.

Regular Agenda

5. Public Hearing – Conduct a Public Hearing and consider a request to amend portions of Planned Development PD No. 92 to add “Office Use” and “Medical and Dental Office” use, add a definition of “Medical Clinic”, and adopt a Zoning Exhibit. The property is Lots 2R, 3 and 4 Ridgeview Meadow Condos, Lots 5-9, 11R, 12, and 13, Block B, Starcreek Commercial, a 3.536± acre portion of land and a 6.721± acre portion of land located in the Francis Dasser Survey, Abstract No. 280, City of Allen, Collin County, Texas; generally located north of Ridgeview Drive and on the west and east sides of Watters Road. (Z-1/6/16-4) [Starcreek Commercial]

Ms. Madhuri Kulkarni, Planner, presented the item to the Commission. She stated that the item is a PD Amendment and a Public Hearing for Starcreek Commercial.

The property is located south of SH 121, and east and west of Watters Road. The properties to the west are zoned Planned Development PD No. 40 for Corridor Commercial CC uses. The properties to the east are zoned Community Facilities CF. The properties to the south are zoned Planned Development No. 92 for Corridor Commercial CC uses. The City of McKinney is located to the north.

Ms. Kulkarni stated that the properties (north of Ridgeview Drive and on the western and eastern portions of Watters Road, and generally that entire area) were zoned PD No. 92 with a base zoning of Corridor Commercial in 2004. The ordinance for this area lists several permitted uses that are all part of recreation, fashion, and retail supporting uses. The main intent of this area is for an entertainment district. The vision of this area as an entertainment district was not only included in the original ordinance, but also emphasized in the recently adopted Comprehensive Plan; which calls out the Starcreek Commercial area to continue development with a focus on additional entertainment, restaurant, and commercial uses. The entertainment district is already being shaped through the existing buildings in the area that includes the Lifetime Fitness, the Cinemark Allen Movie Theater, as well as several restaurants and supportive retail uses.

Ms. Kulkarni stated that the Zoning Exhibit shows the outlined area of the Starcreek Commercial Development which is approximately 28.26 acres. The owners of this property are requesting to add two uses: Office and Medical/Dental Office to portions of the property. These uses will be permitted only within the interior of the outlined development, and will not be permitted on the perimeter of the street frontage as those are the areas where commercial and retail uses are not only more suitable and practical, but also more prominent and keep with the entertainment district vision.

The reason to add the Office and Medical/Dental Office uses is primarily to increase daytime traffic which will support the existing and future entertainment, commercial, and retail uses within the area. Surrounding vendors support these additional uses and agree that it will increase daytime traffic and support their businesses.

Additional required parking will not be a concern as the original ordinance included a specific parking ratio based on the square footage of the building rather than use, so adding these uses will not affect parking.

After further consideration of the request, staff recommends that a maximum building height be incorporated in the Planned Development as part of the Development Regulations as an extra level of control to ensure that the office uses and the medical/dental office uses are ancillary uses rather than primary uses.

Ms. Kulkarni then went over the proposed Development Regulations, summarized as follows:

- Tract: A-1, as shown on the Zoning Exhibit
- Permitted Uses: Office and Medical or Dental Office
- Prohibited Uses: Medical Clinic
- Definitions: Office, Medical or Dental Office, and Medical Clinic for addition reference and clarification
- Recommended Addition for Building Height not to exceed 3 stories and 45 feet

Ms. Kulkarni summarized that the purpose of the request is to add Office and Medical/Dental Office uses to the area for generating additional daytime traffic.

Chairman Cocking opened the public hearing.

Chairman Cocking closed the public hearing.

Motion: **Upon a motion by 2nd Vice-Chair Platt, and a second by Commissioner Mangrum, the Commission voted 6 IN FAVOR, and 0 OPPOSED to recommend approval of the request to amend portions of Planned Development PD No. 92, generally located north of Ridgeview Drive and on the west and east sides of Watters Road, to add “Office Use” and “Medical or Dental Office” use, add a definition of “Medical Clinic”, and adopt a Zoning Exhibit for Starcreek Commercial with the additional regulation to limit the building height to 3 stories and 45 feet.**

Executive Session (As Needed)

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

Adjournment

The meeting adjourned at 7:10 p.m.

These minutes approved this _____ day of _____ 2016.

Jeff Cocking, Chairman

Madhuri Kulkarni, AICP, Planner

Director's Report from 1/12/2016 City Council Meeting

- The request to adopt an Ordinance to change the zoning of Allen Watters - NTB Addition, generally located south of McDermott Drive and west of Watters Road from Shopping Center (SC) to Planned Development No. 122 with a base zoning of Multi-Family Residential District MF-18, for Vera Watters Creek, was approved.
- The request to adopt an Ordinance for a Specific Use Permit (SUP) for a Restaurant (Drive-in or through) use generally located south of Stacy Road and west of Greenville Avenue, for El Pollo Loco, was approved.
- The request to adopt an Ordinance to amend Section 4.20.2 of the Allen Land Development Code, specifically the Schedule of Principle Uses relating to "Public Service Facility," was approved.

PLANNING & ZONING COMMISSION AGENDA COMMUNICATION
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AGENDA DATE:

February 2, 2016

SUBJECT:

Consider a request for a Final Plat for Estates of Twin Creeks, Phase II, being 29.138± acres located in the Jesse A. Gough Survey, Abstract 347, City of Allen, Collin County, Texas; generally located southwest of Shallowater Drive and Lexington Avenue. (FP-1/13-16-5) [Estates of Twin Creeks, Phase II]

STAFF RESOURCE:

Madhuri Kulkarni, AICP
Planner

PREVIOUS BOARD/COUNCIL ACTION:

Adopted PD No. 88 – November, 2000
Preliminary Plat Approved – May, 2001
Amended PD No. 88 – August, 2007
Floodplain Reconfiguration – October, 2014

BACKGROUND

The property is generally located north of McDermott Drive, east of Shallowater Drive, and west of Lexington Avenue. The properties to the west, north, and the east are zoned Planned Development PD No. 54 Community Facilities CF. The property to the south is zoned Planned Development PD No. 88 Single Family Residential R-1.5.

The subject property is zoned Planned Development PD No. 88 Single Family Residential R-1.5. The initial Planned Development was adopted in November 2000 and amended in August 2007. A Preliminary Plat for the property was approved in May 2001. A Floodplain Reconfiguration request for Lots 4, 5, and 9-13, Block D and Lot 6, Block E, was approved by the Planning and Zoning Commission in October 2014. The Final Plat is the last step in the development process.

The Final Plat shows twenty-nine (29) lots, three (3) Open Space lots, and one (1) Private Street Lot on approximately 29.138± acres. There are three (3) access points into the development. All of the streets are private and will be owned and maintained by the HOA. There are two (2) access point on Lakeway Drive and one (1) access point on Woodlake Drive. The plat also shows various easements required for development of the site.

The Final Plat has been reviewed by the Technical Review Committee, is consistent with the PD Concept Plan and Preliminary Plat, and meets the requirements of the Allen Land Development Code.

STAFF RECOMMENDATION

Staff recommends approval.

RECOMMENDED MOTION

I make a motion to approve the Final Plat for the Estates of Twin Creeks, Phase II, generally located southwest of Shallowater Drive and Lexington Avenue.

ATTACHMENTS

Final Plat

PLANNING & ZONING COMMISSION AGENDA COMMUNICATION
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AGENDA DATE:	February 2, 2016
SUBJECT:	Conduct a Public Hearing and consider a request to change the base zoning of a portion of Tract C of Planned Development PD No. 98 (to be re-designated as Tract C-1) from Townhome Residential TH to Single-Family Residential R-7, and adopt a Concept Plan, Development Regulations, and Building Elevations. The property is a 4.247± acre tract in the J.W. Parsons Survey, Abstract No. 705, City of Allen, Collin County, Texas; generally located south of Ridgeview Drive and west of Twin Creeks Drive. (Z-7/21/15-49) [Ridgeview Villas]
STAFF RESOURCE:	Madhuri Kulkarni, AICP Planner
PREVIOUS COMMISSION/ COUNCIL ACTION:	Adopted PD No. 98 – January, 2006
PUBLIC NOTICE:	Public Hearing Sign: Installed 1/20/16 Property Owner Notices: Mailed 1/22/16
ANTICIPATED COUNCIL DATE:	February 23, 2016

BACKGROUND

The property is generally located south of Ridgeview Drive and west of Twin Creeks Drive. The property to the north (across Ridgeview Drive) is zoned Planned Development PD No. 98 for Corridor Commercial CC. The property to the west is zoned Planned Development PD No. 111 for Single-Family Residential District R-5. To the south and the east, the property is zoned Planned Development PD No. 98 for Single-Family Residential District R-5.

The subject property is zoned Planned Development PD No. 98 for Townhome Residential District TH. The applicant is requesting to change the base zoning from Townhome Residential District TH to Single-Family Residential District R-7 by amending the Planned Development for a single-family development, and adopting development regulations, a concept plan, and building elevations for the property.

The proposed residential development is approximately 4.25± acres. The attached Concept Plan shows a total of 27 front-entry lots with a minimum lot area of 2,948 square feet and minimum dwelling unit size of 2,200 square feet, on 44' X 67' lots. The proposed density is 6.35 units/acre. The plan also shows 0.48± acres of open space (which exceeds the required amount of 0.36 acres) and 0.48± acres of floodplain.

There are two (2) access points into the development, both on Ridgeview Drive.

Screening for the property will consist of an eight foot (8') masonry wall on the north (along Ridgeview Drive) and landscaping. Screening on the western perimeter of the property will consist of an existing six foot (6') wood fence. On the southern perimeter of the property, the screening will consist of a six foot (6') Ornamental Metal Fence.

The attached development regulations include design standards to establish the Planned Development for the single-family subdivision. Proposed standards include building setbacks, lot standards, dwelling unit size, density, garages, driveways, and screening.

The primary building materials, shown on the attached Building Elevations, are brick, stone, textured stucco, and a composition shingle roof. Enhanced garage doors and enhanced driveways are proposed.

The request has been reviewed by the Technical Review Committee.

STAFF RECOMMENDATION

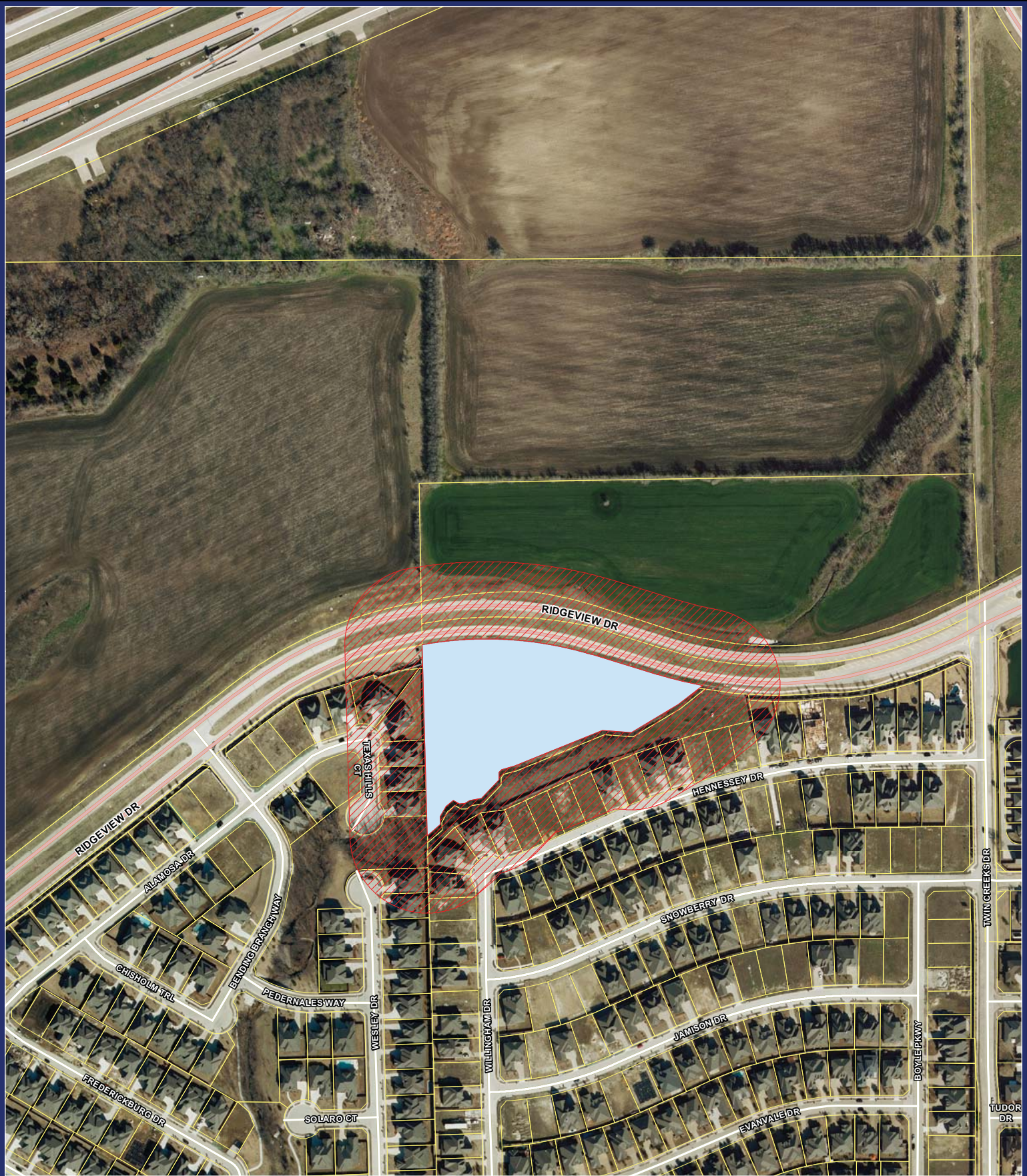
Staff recommends approval.

RECOMMENDED MOTION

I make a motion to recommend approval of the request to change the base zoning of a portion of Tract C of Planned Development PD No. 98 (to be re-designated as Tract C-1) from Townhome Residential TH to Single-Family Residential R-7, and adopt a Concept Plan, Development Regulations, and Building Elevations, generally located south of Ridgeview Drive and west of Twin Creeks Drive, for Ridgeview Villas.





ATTACHMENTS

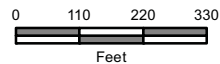
Property Notification Map
Development Regulations
Concept Plan
Building Elevations



Property Ownership Notification
Ridgeview Villas

Map Legend

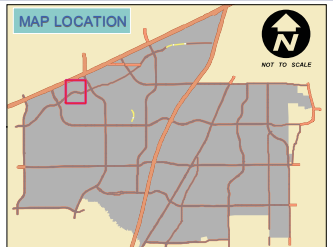
-  200' Notification Buffer
-  Railroad
-  Public Rezone
-  CollinCAD Parcels



Community Development - GIS

Date Saved: 1/19/2016

NOTE: This map is only for illustration purpose only, please contact the City of Allen Planning & Development Department for specific rules and regulations.

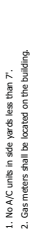
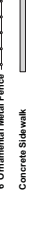
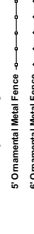


DRAFT OF PROPOSED DEVELOPMENT REGULATIONS FOR RIDGEVIEW VILLAS

The Property shall be developed and used in accordance with the applicable provisions of the Allen Land Development Code, as amended, (“ALDC”) except to the extent modified by the Development Regulations set forth below:

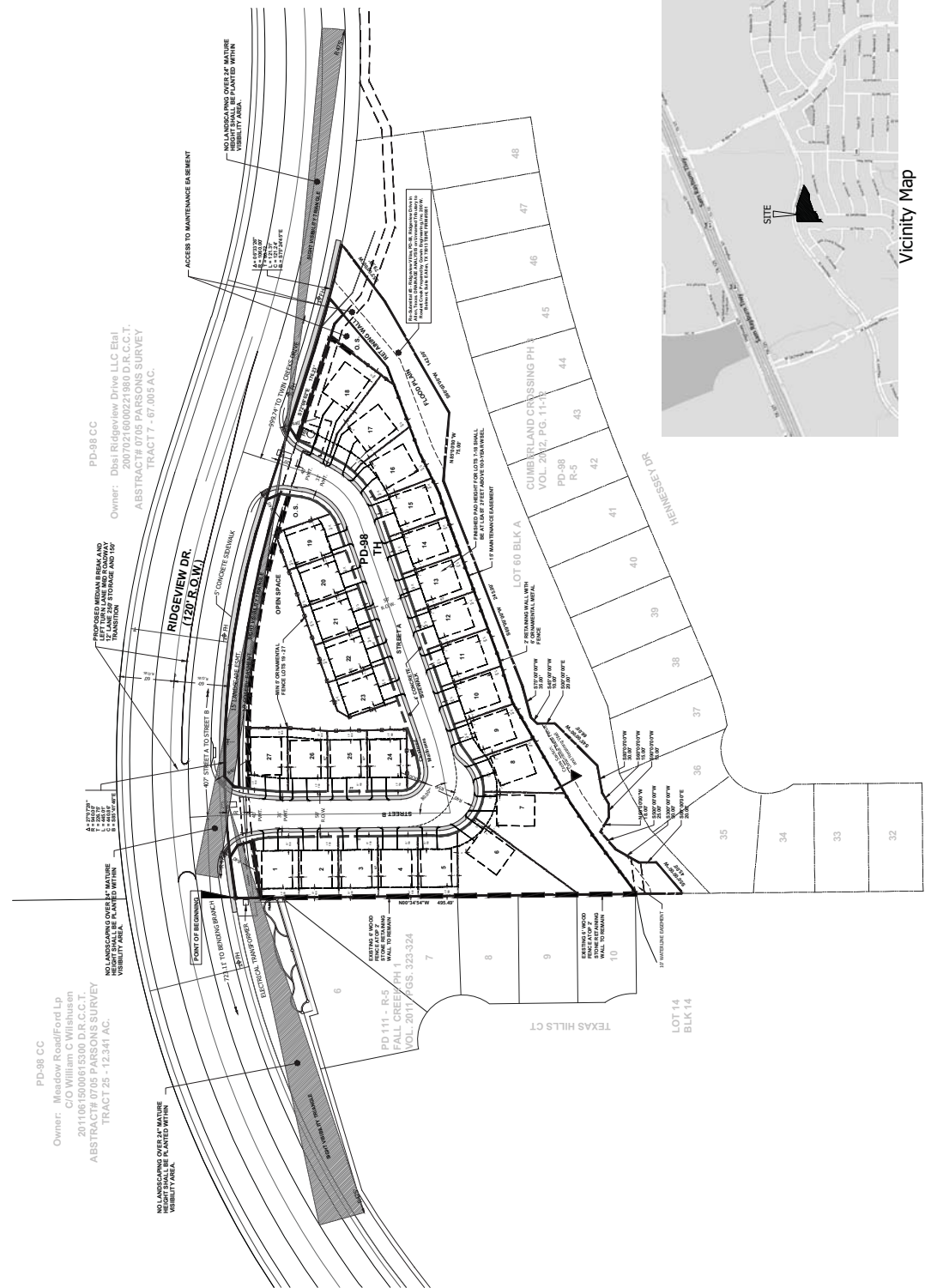
- A. DESIGNATION OF TRACT C-1:** The portion of Tract C of PD-98 depicted on the Concept Plan attached hereto as Exhibit “A” and incorporated herein by reference, and any remaining portion of Tract C not previously re-designated as Tract C-2, is hereby re-designated as “Tract C-1”.
- B. BASE ZONING DISTRICT:** The Property shall be developed and used only in accordance with the Single-Family Residential District R-7 standards of the ALDC, except as otherwise provided herein.
- C. CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit “A” and incorporated herein by reference. Minor modifications to streets that do not alter the general alignment shown on the Concept Plan may be made at the time of platting.
- D. BUILDING ELEVATIONS:** The Property shall be developed in general conformance with the Building Elevations attached hereto as Exhibit “B”, and incorporated herein by reference.
- E. BUILDING SETBACKS:** The building setbacks for the Property shall be as follows:
 - 1. Front Yard Setback: Fifteen Feet (15.0’)
 - 2. Side Yard Setback: Seven Feet (7.0’) on one side and Three Feet (3.0’) on the other side
- F. LOT AREA:** The minimum lot area shall be 2,948 square feet.
- G. LOT WIDTH:** The minimum lot depth shall be 44 feet.
- H. LOT DEPTH:** The minimum lot depth shall be 67 feet.
- I. MINIMUM DWELLING UNIT SIZE:** The minimum dwelling unit size shall be 2,200 square feet.
- J. DENSITY:** The maximum density shall be 6.35 residential units/acre.
- K. GARAGES:** The minimum garage setback shall be 20 feet from the front property line.
- L. DRIVEWAYS:** Driveways shall be treated with a decorative concrete aggregate.
- M. SCREENING:** Screening on the Property shall be developed in general conformance with the Concept Plan (Exhibit “A”).

Site Data Summary Chart	
Open Space/Access	2.25 ac.
Residential	11.24%
Dedicated Internal R.O.W.	85 ac.
Parking/Landscape Buffer	20.04%
Residential	4.37%
Res. Gross Acreage	100.00%
Site Data	
Gross Acreage	4.25 ac.
Gross Density	6.35 units/ac.
Residential	2.27
Minimum Lot Area	2,598 s.f.
Minimum Building Height	3.5 ft.
Lot Summary	
Residential LOTS (44x67' MIN.)	27
Minimum Lot Area	2,598 s.f.
Minimum Building Height	3.5 ft.



PD-98 CC
Owner: Meadow Road/Ford Lp
C/O William C Withusen
20110615000615300 D.R.C.C.T.
ABSTRACT# 0705 PARSONS SURVEY
TRACT 25 - 12.341 AC.

PD-98 CC
Owner: Dohi Ridgeview Drive LLC Elai
2007021600221980 D.R.C.C.T.
ABSTRACT# 0705 PARSONS SURVEY
TRACT 7 - 67.009 AC.



Vicinity Map

Concept Plan - Submittal

Ridgeview Villas

Allen, Texas

Owner:

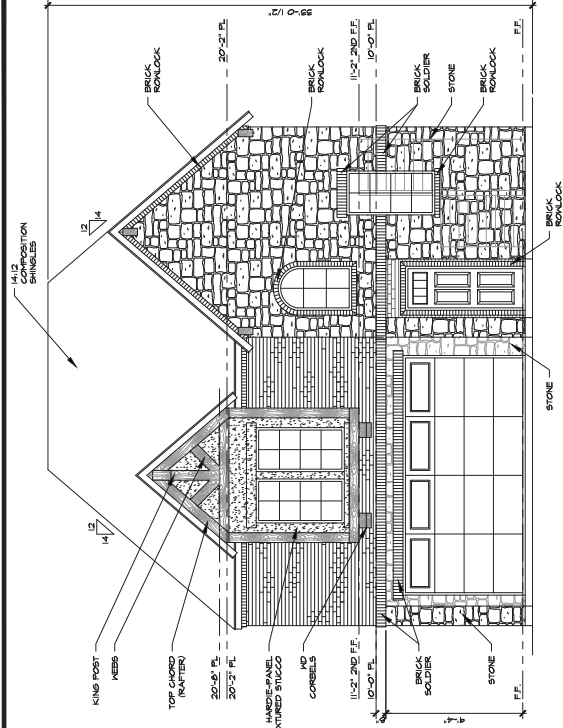
Kent Ward
1110 N. Carroll Ave., Ste. 200
Scottsdale, Texas 75076
TEL: 602-400-0000

Planner:

SAGE GROUP, INC.
Master Planning
Site Development
Landscape Architecture
1110 N. Carroll Ave., Ste. 200
Scottsdale, Texas 75076
TEL: 602-400-0000

30 DEC 15

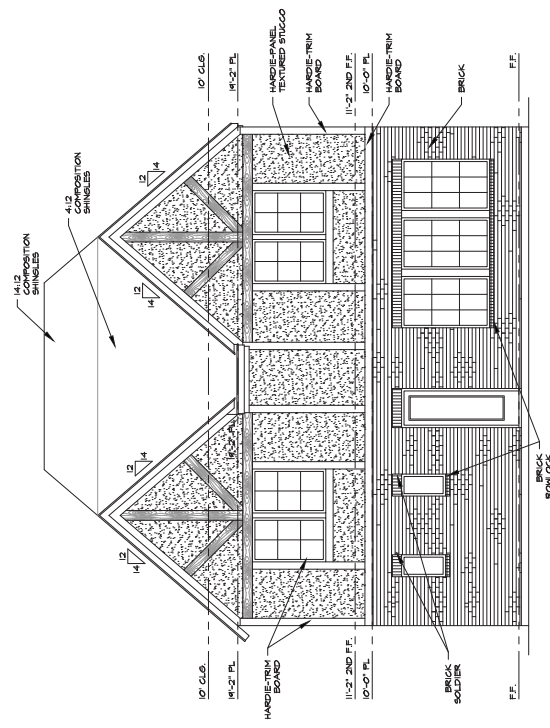
0 50' 100' 200'



FRONT ELEVATION - HILL COUNTRY 2

86% MASONRY

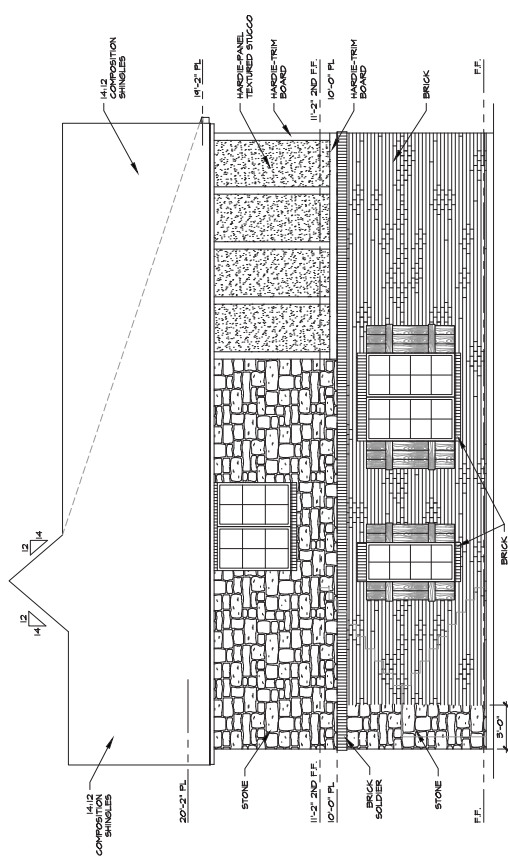
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REAR ELEVATION - HILL COUNTRY 2

4% MASONRY

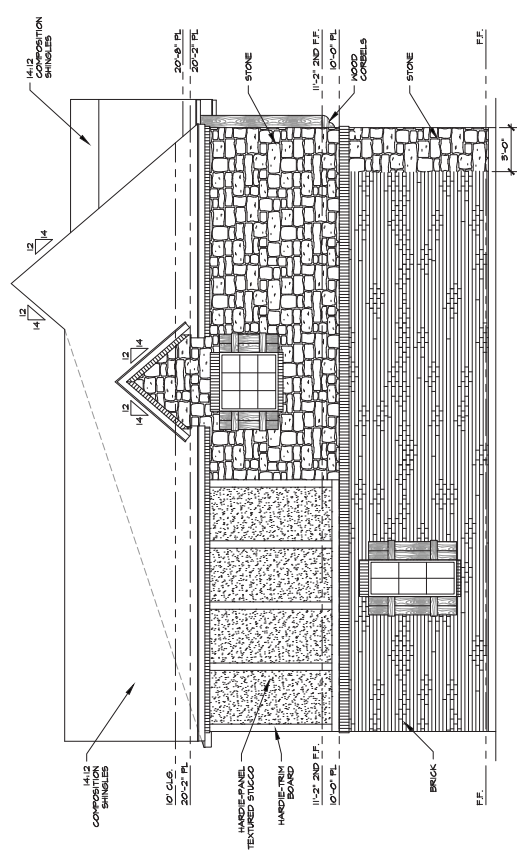
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RIGHT ELEVATION - HILL COUNTRY 2

86% MASONRY

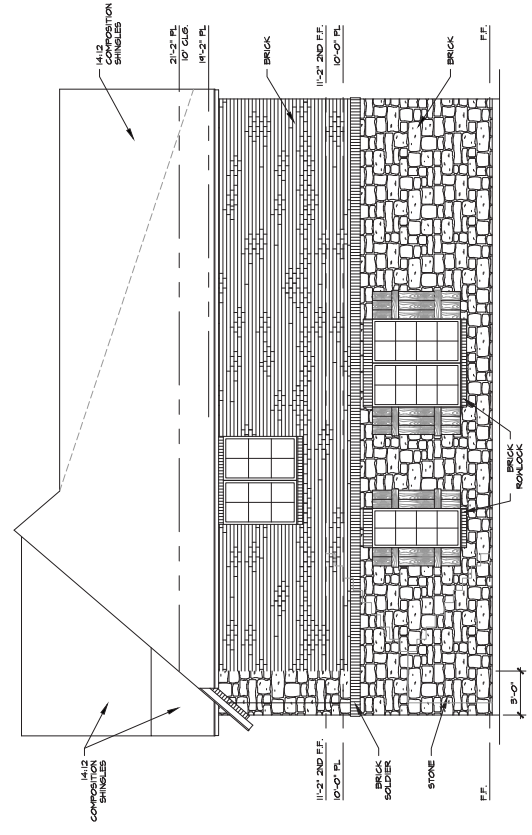
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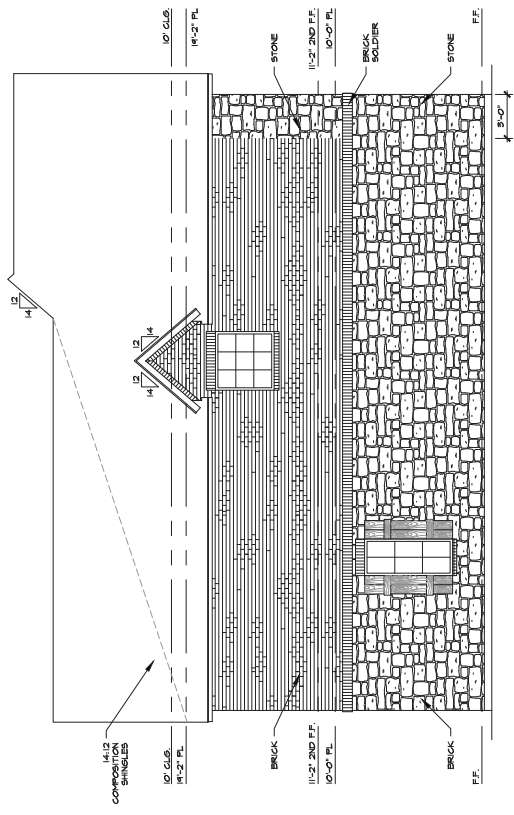
LEFT ELEVATION - HILL COUNTRY 2

84% MASONRY

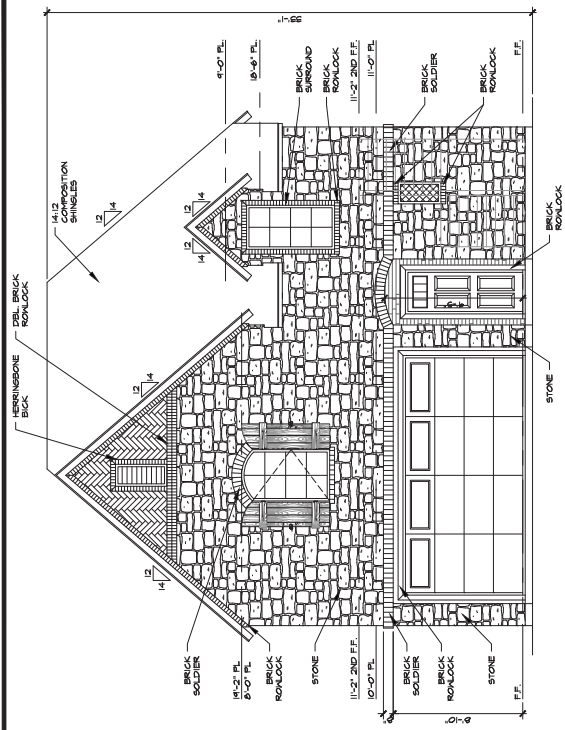
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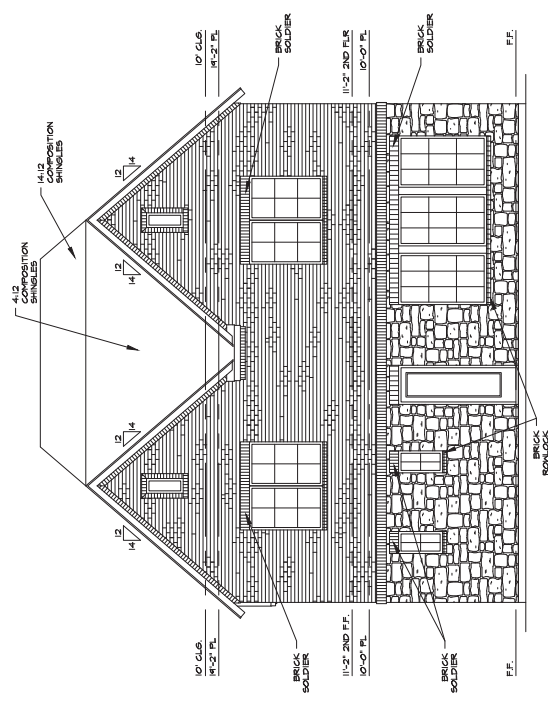
RIGHT ELEVATION - HILL COUNTRY I
 100% MASONRY
 SCALE: 1/4" = 1'-0"



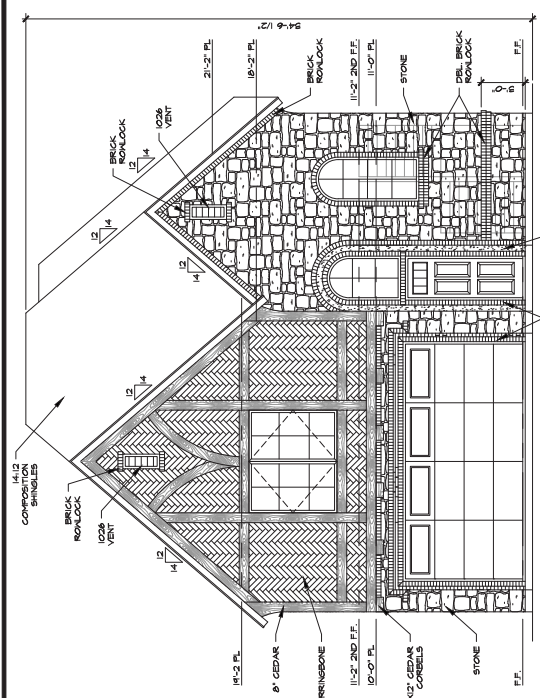
LEFT ELEVATION - HILL COUNTRY I
 100% MASONRY
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION - HILL COUNTRY I
 100% MASONRY
 SCALE: 1/4" = 1'-0"

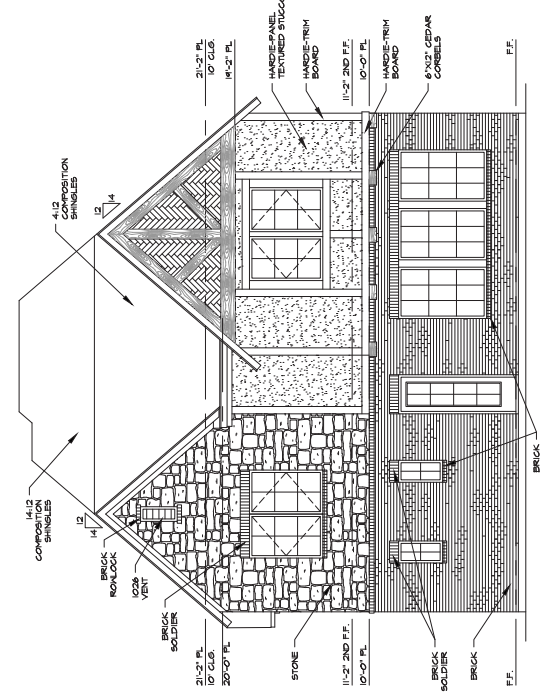


REAR ELEVATION - HILL COUNTRY I
 100% MASONRY
 SCALE: 1/4" = 1'-0"



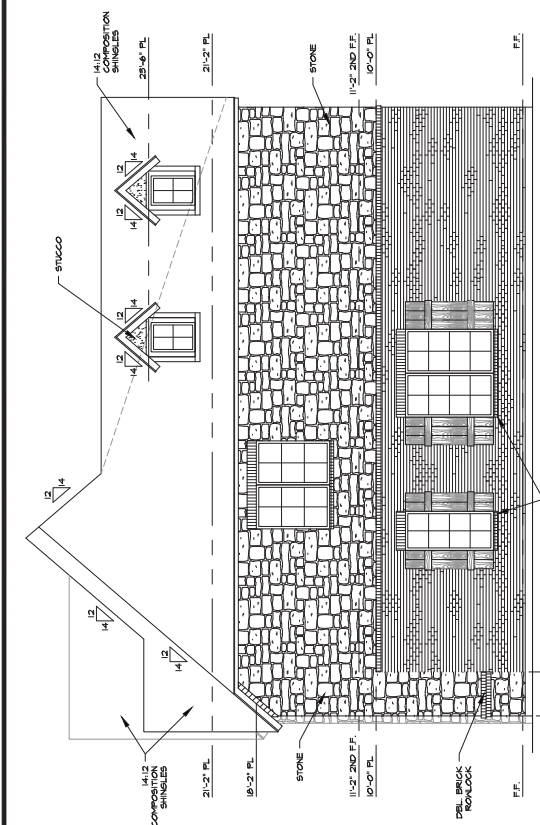
FRONT ELEVATION - TUDOR
97% MASONRY

SCALE: 1/4" = 1'-0"



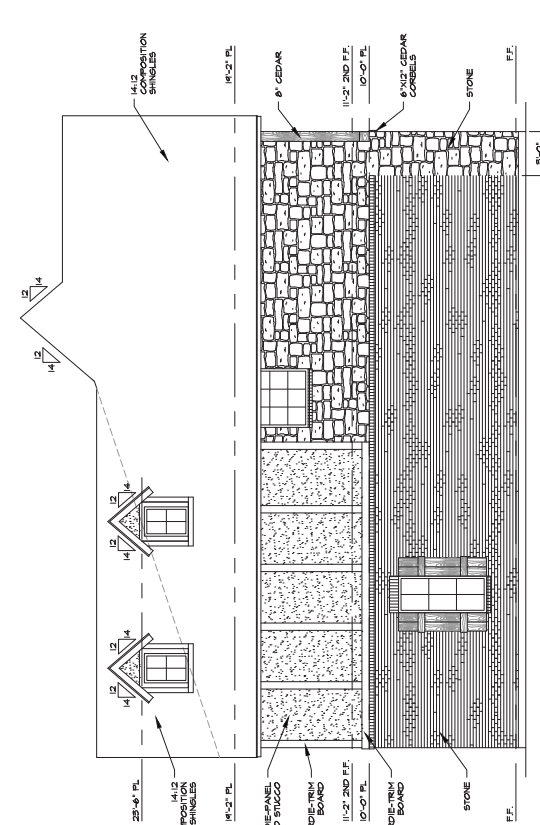
REAR ELEVATION - TUDOR
65% MASONRY

SCALE: 1/4" = 1'-0"



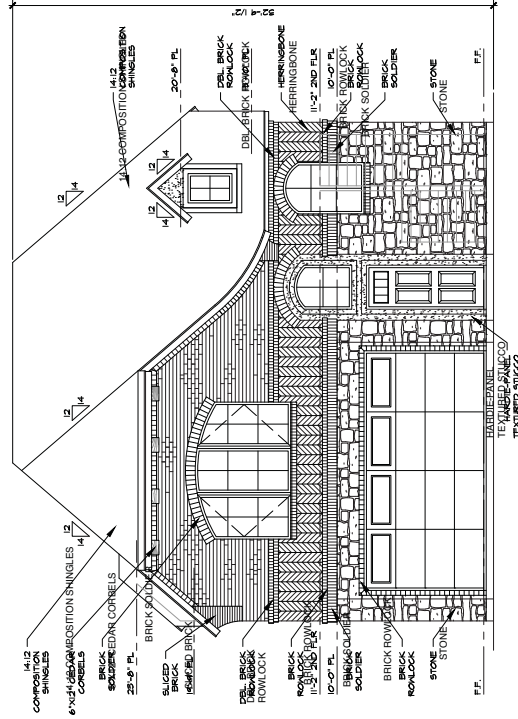
RIGHT ELEVATION - TUDOR
100% MASONRY

SCALE: 1/4" = 1'-0"



LEFT ELEVATION - TUDOR
78% MASONRY

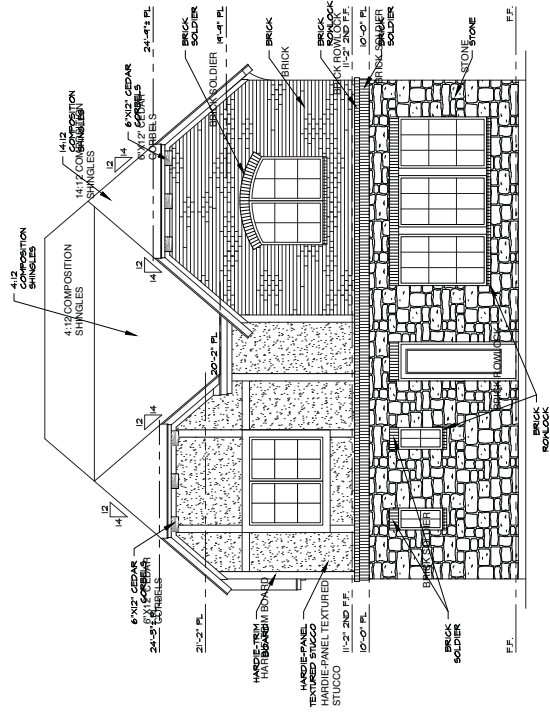
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FRONT ELEVATION FRENCH

q3% MASONRY

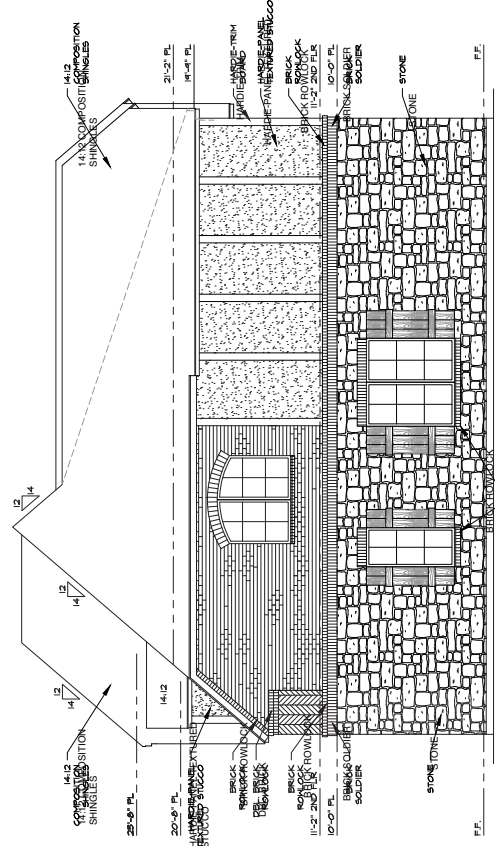
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REAR ELONGATION FRENCH

74% MASONRY

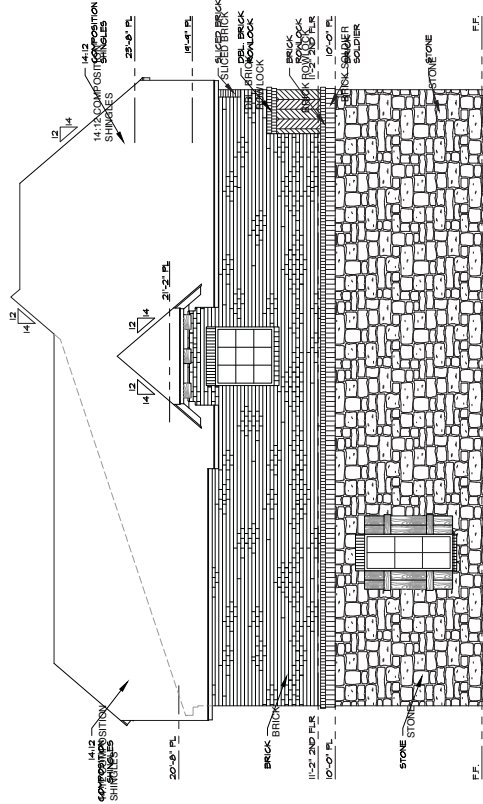
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RIGHT ELEMENTATION FRENCH

76% MASONRY

SCALE: 1/4" = 1'-0"



LEFT ELBYANTION FRENCH

100% MASONRY

SCALE: 1/4" = 1'-0"

100%



LEFT ELEVATION – HILL COUNTRY 2



FRONT ELEVATION – HILL COUNTRY 2



RIGHT ELEVATION – HILL COUNTRY 2



REAR ELEVATION – HILL COUNTRY 2



LEFT ELEVATION – HILL COUNTRY 1



FRONT ELEVATION – HILL COUNTRY 1



RIGHT ELEVATION – HILL COUNTRY 1



REAR ELEVATION – HILL COUNTRY 1



LEFT ELEVATION - TUDOR



FRONT ELEVATION - TUDOR



RIGHT ELEVATION - TUDOR



REAR ELEVATION - TUDOR



LEFT ELEVATION – FRENCH



FRONT ELEVATION – FRENCH



RIGHT ELEVATION – FRENCH



REAR ELEVATION – FRENCH