

AGENDA
CITY OF ALLEN
PLANNING AND ZONING COMMISSION
REGULAR MEETING
TUESDAY, FEBRUARY 2, 2016 – 7:00 P.M.
CITY COUNCIL CHAMBERS
ALLEN CITY HALL
305 CENTURY PARKWAY
ALLEN, TEXAS 75013

# Call to Order and Announce a Quorum is Present

# Pledge of Allegiance

# **Directors Report**

1. Action taken on the Planning & Zoning Commission items by City Council at the January 26, 2016, regular meeting.

Consent Agenda (Routine P&Z business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.)

- 2. Approve minutes from the January 19, 2016, regular meeting.
- 3. Final Plat Consider a request for a Final Plat for Estates of Twin Creeks, Phase II, being 29.138± acres located in the Jesse A. Gough Survey, Abstract 347, City of Allen, Collin County, Texas; generally located southwest of Shallowater Drive and Lexington Avenue. (FP-1/13-16-5) [Estates of Twin Creeks, Phase II]

# Regular Agenda

4. Public Hearing – Conduct a Public Hearing and consider a request to change the base zoning of a portion of Tract C of Planned Development PD No. 98 (to be re-designated as Tract C-1) from Townhome Residential TH to Single-Family Residential R-7, and adopt a Concept Plan, Development Regulations, and Building Elevations. The property is a 4.247± acre tract in the J.W. Parsons Survey, Abstract No. 705, City of Allen, Collin County, Texas; generally located south of Ridgeview Drive and west of Twin Creeks Drive. (Z-7/21/15-49) [Ridgeview Villas]

# **Executive Session** (As Needed)

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

# **Adjournment**

This notice was posted at Allen City Hall, 305 Century Parkway, Allen, Texas, at a place convenient and readily accessible to the public at all times. Said notice was posted on Friday, January 29, 2016 at 5:00 p.m.

Shelley B. George, City Secretary

Allen City Hall is wheelchair accessible. Access to the building and special parking are available at the entrance facing Century Parkway. Requests for sign interpreters or special services must be received forty-eight (48) hours prior to the meeting time by calling the City Secretary at 214-509-4105.

# Director's Report from 1/26/2016 City Council Meeting

• The request to adopt an Ordinance to change the base zoning from Agriculture Open Space AO to Single-Family Residential District R-7, and adopt a Concept Plan, Development Regulations, and Building Elevations for a 74.601± acre portion of Planned Development PD No. 105, generally located south of Bethany Drive and east of Brett Drive, for Montgomery Farm Estates, was tabled to the February 23, 2016, City Council meeting.



# PLANNING AND ZONING COMMISSION

Regular Meeting January 19, 2016

#### **ATTENDANCE:**

## **Commissioners Present:**

Jeff Cocking, Chair Ben Trahan, 1<sup>st</sup> Vice-Chair Stephen Platt, Jr., 2<sup>nd</sup> Vice-Chair Luke Hollingsworth Shirley Mangrum Michael Orr

#### Absent:

John Ogrizovich

# **City Staff Present:**

Ogden "Bo" Bass, AICP, Director of Community Development Tiffany McLeod, AICP, Senior Planner Madhuri Kulkarni, AICP, Planner David Dodd, City Attorney

#### Call to Order and Announce a Quorum is Present:

With a quorum of the Commissioners present, Chairman Cocking called the meeting to order at 7:00 p.m.in the City Hall Council Chambers Room at Allen City Hall, 305 Century Parkway.

#### **Director's Report**

1. Action taken on the Planning & Zoning Commission items by City Council at the January 12, 2016 regular meeting, attached.

<u>Consent Agenda</u> (Routine P&Z business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.)

- 2. Capital Improvement Program (CIP) Status Report.
- 3. Approve minutes from the January 5, 2016, regular meeting.
- 4. Final Plat Consider a request for a Final Plat for Lots 1 & 2, Block A, Allen Business Center II, being 6.533± acres and consisting of a 4.49± acre tract and a portion of Tract M, Allen Business Center II, located in the William Perrin Survey, Abstract No. 708, City of Allen, Collin County, Texas; generally located north of Bethany Drive and west of Greenville Avenue. (RP-12/9/15-90) [Allen Business Center II]

Motion: Upon a motion by Commissioner Mangrum, and a second by

Commissioner Hollingsworth, the Commission voted 6 IN FAVOR, and 0

OPPOSED to approve the Consent Agenda.

The motion carried.

#### Regular Agenda

5. Public Hearing – Conduct a Public Hearing and consider a request to amend portions of Planned Development PD No. 92 to add "Office Use" and "Medical and Dental Office" use, add a definition of "Medical Clinic", and adopt a Zoning Exhibit. The property is Lots 2R, 3 and 4 Ridgeview Meadow Condos, Lots 5-9, 11R, 12, and 13, Block B, Starcreek Commercial, a 3.536± acre portion of land and a 6.721± acre portion of land located in the Francis Dasser Survey, Abstract No. 280, City of Allen, Collin County, Texas; generally located north of Ridgeview Drive and on the west and east sides of Watters Road. (Z-1/6/16-4) [Starcreek Commercial]

Ms. Madhuri Kulkarni, Planner, presented the item to the Commission. She stated that the item is a PD Amendment and a Public Hearing for Starcreek Commercial.

The property is located south of SH 121, and east and west of Watters Road. The properties to the west are zoned Planned Development PD No. 40 for Corridor Commercial CC uses. The properties to the east are zoned Community Facilities CF. The properties to the south are zoned Planned Development No. 92 for Corridor Commercial CC uses. The City of McKinney is located to the north.

Ms. Kulkarni stated that the properties (north of Ridgeview Drive and on the western and eastern portions of Watters Road, and generally that entire area) were zoned PD No. 92 with a base zoning of Corridor Commercial in 2004. The ordinance for this area lists several permitted uses that are all part of recreation, fashion, and retail supporting uses. The main intent of this area is for an entertainment district. The vision of this area as an entertainment district was not only included in the original ordinance, but also emphasized in the recently adopted Comprehensive Plan; which calls out the Starcreek Commercial area to continue development with a focus on additional entertainment, restaurant, and commercial uses. The entertainment district is already being shaped through the existing buildings in the area that includes the Lifetime Fitness, the Cinemark Allen Movie Theater, as well as several restaurants and supportive retail uses.

Ms. Kulkarni stated that the Zoning Exhibit shows the outlined area of the Starcreek Commercial Development which is approximately 28.26 acres. The owners of this property are requesting to add two uses: Office and Medical/Dental Office to portions of the property. These uses will be permitted only within the interior of the outlined development, and will not be permitted on the perimeter of the street frontage as those are the areas where commercial and retail uses are not only more suitable and practical, but also more prominent and keep with the entertainment district vision.

The reason to add the Office and Medical/Dental Office uses is primarily to increase daytime traffic which will support the existing and future entertainment, commercial, and retail uses within the area. Surrounding vendors support these additional uses and agree that it will increase daytime traffic and support their businesses.

Additional required parking will not be a concern as the original ordinance included a specific parking ratio based on the square footage of the building rather than use, so adding these uses will not affect parking.

After further consideration of the request, staff recommends that a maximum building height be incorporated in the Planned Development as part of the Development Regulations as an extra level of control to ensure that the office uses and the medical/dental office uses are ancillary uses rather than primary uses.

Ms. Kulkarni then went over the proposed Development Regulations, summarized as follows:

- Tract: A-1, as shown on the Zoning Exhibit
- Permitted Uses: Office and Medical or Dental Office
- Prohibited Uses: Medical Clinic
- Definitions: Office, Medical or Dental Office, and Medical Clinic for addition reference and clarification
- Recommended Addition for Building Height not to exceed 3 stories and 45 feet

Ms. Kulkarni summarized that the purpose of the request is to add Office and Medical/Dental Office uses to the area for generating additional daytime traffic.

Chairman Cocking opened the public hearing.

Chairman Cocking closed the public hearing.

**Motion:** 

Upon a motion by 2<sup>nd</sup> Vice-Chair Platt, and a second by Commissioner Mangrum, the Commission voted 6 IN FAVOR, and 0 OPPOSED to recommend approval of the request to amend portions of Planned Development PD No. 92, generally located north of Ridgeview Drive and on the west and east sides of Watters Road, to add "Office Use" and "Medical or Dental Office" use, add a definition of "Medical Clinic", and adopt a Zoning Exhibit for Starcreek Commercial with the additional regulation to limit the building height to 3 stories and 45 feet.

## **Executive Session** (As Needed)

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

#### Adjournment

| The meeting adjourned at 7:10 p.m. |                                 |
|------------------------------------|---------------------------------|
| These minutes approved thisday of  | 2016.                           |
| Jeff Cocking, Chairman             | Madhuri Kulkarni, AICP, Planner |

# Director's Report from 1/12/2016 City Council Meeting

- The request to adopt an Ordinance to change the zoning of Allen Watters NTB Addition, generally located south of McDermott Drive and west of Watters Road from Shopping Center (SC) to Planned Development No. 122 with a base zoning of Multi-Family Residential District MF-18, for Vera Watters Creek, was approved.
- The request to adopt an Ordinance for a Specific Use Permit (SUP) for a Restaurant (Drive-in or through) use generally located south of Stacy Road and west of Greenville Avenue, for El Pollo Loco, was approved.
- The request to adopt an Ordinance to amend Section 4.20.2 of the Allen Land Development Code, specifically the Schedule of Principle Uses relating to "Public Service Facility," was approved.

#### PLANNING & ZONING COMMISSION AGENDA COMMUNICATION

**AGENDA DATE:** February 2, 2016

**SUBJECT:** Consider a request for a Final Plat for Estates of

Twin Creeks, Phase II, being 29.138± acres located in the Jesse A. Gough Survey, Abstract 347, City of Allen, Collin County, Texas; generally located southwest of Shallowater Drive and Lexington Avenue. (FP-1/13-16-5) [Estates of Twin Creeks,

Phase II]

STAFF RESOURCE: Madhuri Kulkarni, AICP

Planner

**PREVIOUS BOARD/COUNCIL ACTION:** Adopted PD No. 88 – November, 2000

Preliminary Plat Approved – May, 2001 Amended PD No. 88 – August, 2007 Floodplain Reconfiguration – October, 2014

#### **BACKGROUND**

The property is generally located north of McDermott Drive, east of Shallowater Drive, and west of Lexington Avenue. The properties to the west, north, and the east are zoned Planned Development PD No. 54 Community Facilities CF. The property to the south is zoned Planned Development PD No. 88 Single Family Residential R-1.5.

The subject property is zoned Planned Development PD No. 88 Single Family Residential R-1.5. The initial Planned Development was adopted in November 2000 and amended in August 2007. A Preliminary Plat for the property was approved in May 2001. A Floodplain Reconfiguration request for Lots 4, 5, and 9-13, Block D and Lot 6, Block E, was approved by the Planning and Zoning Commission in October 2014. The Final Plat is the last step in the development process.

The Final Plat shows twenty-nine (29) lots, three (3) Open Space lots, and one (1) Private Street Lot on approximately 29.138± acres. There are three (3) access points into the development. All of the streets are private and will be owned and maintained by the HOA. T6here are two (2) access point on Lakeway Drive and one (1) access point on Woodlake Drive. The plat also shows various easements required for development of the site.

The Final Plat has been reviewed by the Technical Review Committee, is consistent with the PD Concept Plan and Preliminary Plat, and meets the requirements of the *Allen Land Development Code*.

# **STAFF RECOMMENDATION**

Staff recommends approval.

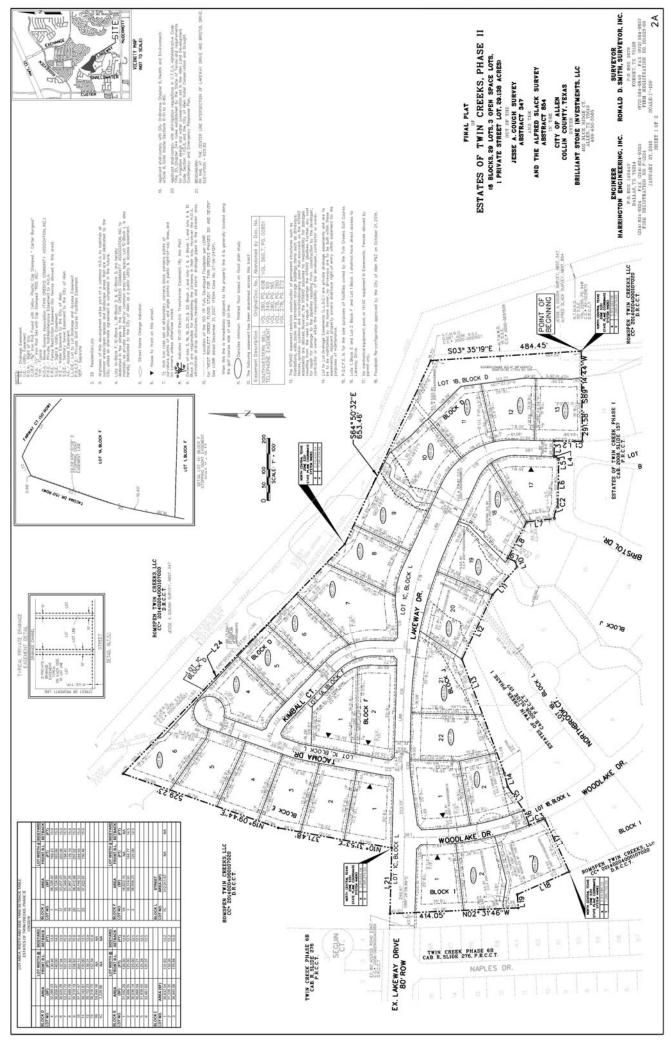
#### **RECOMMENDED MOTION**

I make a motion to approve the Final Plat for the Estates of Twin Creeks, Phase II, generally located southwest of Shallowater Drive and Lexington Avenue.

Planning & Zoning Commission February 2, 2016 Estates of Twin Creeks, Phase II Page 2

# **ATTACHMENTS**

Final Plat



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SULP BS degrees 20 minutes 4.2 secretal Reset of States of Distance of LOS first for the conference of conference and administration of the conference of th THEOREE, clong the common boundary of the aforementioned Romapen Twin Creeks, LLC, tract and the aforementioned Briar Ridge investment tract the following:

South 45 degrees 57 minutes 30 seconds East, a distance of 1027/15 feet to a 1/2 inch iron rod set stamped "RD5 MC"; South 64 degrees 50 minutes 32 seconds East, a distance of 633.46 feet to a 1/2 inch iron rod set stomped 1905 MiChi. Morth 23 degrees 37 minutes 49 seconds West, a distance of N2.03 feet to a 1/2 Inch Fron rod set stamped 7005 MC\*\*. South 88 degrees 26 minutes 39 seconds East, a distance of 20,40 feet to a 1/2 inch iren rod set stamped "RDS NC": North 19 degrees DB minutes 44 seconds East, a distance of 528,23 feet to a 1/2 inch fron rod set stanged 1905 IRC1. South 85 degrees 50 minutes 50 seconds West, a distance of 43,39 feet to a 1/2 inch iron rod set stamped "RDS NC"; North 02 degrees 31 minutes 48 seconds West, a distance of 414.05 feet to a 1/2 inch iron rod set starged "RDS NC"; South 0.3 degrees 3.5 minutes 19 seconds East, a distance of 444.45 feet to the PONT OF BECINAM containing 1,266,259.39 square feet or 28,138 acres more or less. of degrees 31 minutes 53 seconds East, a distance of 37148 feet to a 1/2 inch iron rod set stamped "RDS NC"!

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| 57     | 14.14  | S 46"15'26" W   | 125   | 113.27       | Z       |
| 97     | 152.80   | N 88'44'34" W   | 1.56  | 479.59       | Z       |
| 17     | 90.29  | N 6°45'11" W    | 197   | 24.29        | S.4     |
| 87     | 131.00   | N 62°30'38" W   | L58   | 81.81        | z       |
| 9      | 25.93  | S 25*04'47" W   | 1.59  | 125,37       | 8       |
| 710    | 18.50  | S 70°24'49" W   | 160   | 35.00        | Z       |
| 111    | 120.52   | N 48'37'57" W   | 197   | 32.90        | N 70°5  |
| 112    | 229.73   | N 64"50'32" W   | 1.62  | 33.30        | N       |
| L13    | 390.38   | S 69"28'48" W   | 1.63  | 37.07        | \$ 20.0 |
| 114    | 44.46  | S 76°33'06" W   | 1.64  | 167.63       | Z       |
| 115    | 91.76  | S 56"16"37" W   | 165   | 16.61        | S       |
| 116    | 50.02  | S 70°20'32" W   | 997   | 18.32        | ž       |
| L17    | 190.64   | S 65°36'43" W   | 197   | 70.20        | 80      |
| 118    | 182.03   | N 23"37"49" W   | F98   | 21.41        | Z       |
| L19    | 43.39  | S 85°50'50" W   | 697   | 21.01        | ž       |
| 120    | 414.05   | N 2°31'46" W    | L70   | 13.83        | S       |
| 121    | 210.40   | S 88"26'39" E   | L71   | 228,23       | Z       |
| 122    | 371.48   | N 10"31'53" E   | L72   | 13.85        | Se      |
| 123    | 529.23   | N 19"09'44" E   | L73   | 44.15        | S       |
| 124    | 1027.15  | S 45"57"30" E   | L74   | 253.98       | S       |
| 125    | 653.46   | S 64°50'32" E   | L75   | 14.49        | S       |
| 126    | 484.45   | S 3°35'19" E    | 176   | 311.93       | S       |
| 127    | 90.81  | N 76*33'06* E   | 177   | 14.14        | ž       |
| 128    | 129.02   | N 76*33'06* E   | L78   | 61.52        | Z       |
| 627    | 118.73   | N 60°39'54" E   | L79   | 14.14        | S       |
| L30    | 100.89   | N 63*11*16* E   | L80   | 15.98        | z       |
| 131    | 26.11  | S 51"11'02" W   | L81   | 102.25       | Z       |
| L32    | 89.03  | N 62*13'42" E   | L82   | 228.23       | NA      |
| 133    | 46.91  | N 50"25'02" E   | L83   | 25.00        | Z       |
| 25     | 34.28  | S 34"04'08" W   | L84   | 14.34        | Z       |
| 136    | 62.11  | N 41"38'40" E   | 1.85  | 18.39        | (C)     |
| 136    | 43.34  | N 23*12'35" E   | 188   | 246.97       | S       |
| 137    | 39.20  | S 82°32'03" W   | L87   | 231.66       | ž       |
| 138    | 41.89  | N 56*47'00" E   | L.88  | 159.95       | \$ 88*2 |
| 139    | 44.16  | S 14"31"22" W   | L89   | 204.36       | S       |
| 140    | 53.14  | N 33*47*17" E   | F 100 | 116.38       | \$ 1-16 |
| 141    | 26.07  | N 32*37*3 E     | 161   | 25.00        | N 70°5  |
| 142    | 87.51  | N 56*11*23" E   | T67   | 294.43       | S       |
| L43    | 72.16  | N 56*12'07" E   | L93   | 253.98       | \$ 10*3 |
| 144    | 58.27  | N 65"02"22" E   | L94   | 28.08        | (O      |
| 1.45   | 86.93  | S 11*1258*W     | 1.96  | 30.02        | z       |
| 146    | 53.91  | N 8"03"54" E    |       |              |         |
| 1.47   | 43.58  | N 52"11"35" E   |       |              |         |
| L48    | 47.62  | N 31'46'47" E   |       |              |         |
| L49    | 24.42  | N 43"51'36" E   |       |              |         |
| 120    | 31,78  | S 79"1Z43" E    |       |              |         |
|        |  |                 |       |              |         |

ESTATES OF TWIN CREEKS, PHASE II (8 BLOCKS, 29 LOTS, 3 OPEN SPACE LOTS, 1 PRIVATE STREET LOT, 29.138 ACRES) BRILLIANT STOWERS AND STRENTS, LLC 402 BLUE RIGGE CT. ALLEN TY 75013 400-450-688 AND THE ALFRED SLACK SURVEY
ABSTRACT 854 JESSE A. GOUGH SURVEY
ABSTRACT 347 COLLIN COUNTY, TEXAS FINAL PLAT

ENGINEER
SURVEYOR
HARRINGTON ENGINEERING, INC. RONALD D. SMITH, SURVEYOR, INC.

P.O. BOX. 1679
FORNEY, "X. 75286
GPZD. EG-4 2040 A.N. 19725 EG-4 2040
FIRM REGISTRATION NO. 105025-00
SCALE 1\*-100\* SHEET 2 OF 2 P.O. BOX. 140447

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JANUARY 27, 2016

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#### PLANNING & ZONING COMMISSION AGENDA COMMUNICATION

**AGENDA DATE:** February 2, 2016

**SUBJECT:** Conduct a Public Hearing and consider a request to

change the base zoning of a portion of Tract C of Planned Development PD No. 98 (to be re-designated as Tract C-1) from Townhome Residential TH to Single-Family Residential R-7, and adopt a Concept Plan, Development Regulations, and Building Elevations. The property is a 4.247± acre tract in the J.W. Parsons Survey, Abstract No. 705, City of Allen, Collin County, Texas; generally located south of Ridgeview Drive and west of Twin Creeks Drive. (Z-7/21/15-49) [Ridgeview

Villas]

STAFF RESOURCE: Madhuri Kulkarni, AICP

Planner

PREVIOUS COMMISSION/

**COUNCIL ACTION:** Adopted PD No. 98 – January, 2006

**PUBLIC NOTICE:** Public Hearing Sign: Installed 1/20/16

Property Owner Notices: Mailed 1/22/16

**ANTICIPATED COUNCIL DATE:** February 23, 2016

#### **BACKGROUND**

The property is generally located south of Ridgeview Drive and west of Twin Creeks Drive. The property to the north (across Ridgeview Drive) is zoned Planned Development PD No. 98 for Corridor Commercial CC. The property to the west is zoned Planned Development PD No. 111 for Single-Family Residential District R-5. To the south and the east, the property is zoned Planned Development PD No. 98 for Single-Family Residential District R-5.

The subject property is zoned Planned Development PD No. 98 for Townhome Residential District TH. The applicant is requesting to change the base zoning from Townhome Residential District TH to Single-Family Residential District R-7 by amending the Planned Development for a single-family development, and adopting development regulations, a concept plan, and building elevations for the property.

The proposed residential development is approximately  $4.25\pm$  acres. The attached Concept Plan shows a total of 27 front-entry lots with a minimum lot area of 2,948 square feet and minimum dwelling unit size of 2,200 square feet, on 44' X 67' lots. The proposed density is 6.35 units/acre. The plan also shows  $0.48\pm$  acres of open space (which exceeds the required amount of 0.36 acres) and  $0.48\pm$  acres of floodplain.

There are two (2) access points into the development, both on Ridgeview Drive.

Planning & Zoning Commission February 2, 2016 Ridgeview Villas Page 2

Screening for the property will consist of an eight foot (8') masonry wall on the north (along Ridgeview Drive) and landscaping. Screening on the western perimeter of the property will consist of an existing six foot (6') wood fence. On the southern perimeter of the property, the screening will consist of a six foot (6') Ornamental Metal Fence.

The attached development regulations include design standards to establish the Planned Development for the single-family subdivision. Proposed standards include building setbacks, lot standards, dwelling unit size, density, garages, driveways, and screening.

The primary building materials, shown on the attached Building Elevations, are brick, stone, textured stucco, and a composition shingle roof. Enhanced garage doors and enhanced driveways are proposed.

The request has been reviewed by the Technical Review Committee.

#### **STAFF RECOMMENDATION**

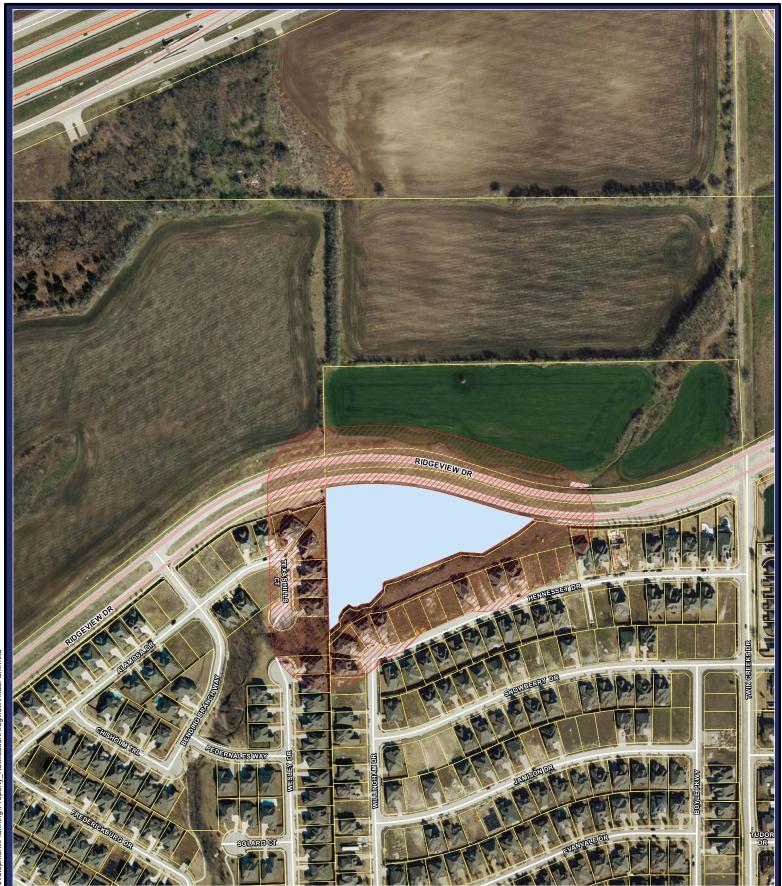
Staff recommends approval.

#### **RECOMMENDED MOTION**

I make a motion to recommend approval of the request to change the base zoning of a portion of Tract C of Planned Development PD No. 98 (to be re-designated as Tract C-1) from Townhome Residential TH to Single-Family Residential R-7, and adopt a Concept Plan, Development Regulations, and Building Elevations, generally located south of Ridgeview Drive and west of Twin Creeks Drive, for Ridgeview Villas.

## **ATTACHMENTS**

Property Notification Map Development Regulations Concept Plan Building Elevations





# Map Legend

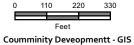
200' Notification Buffer

CollinCAD Parcels



Public Rezone

W S E



Date Saved: 1/19/2016

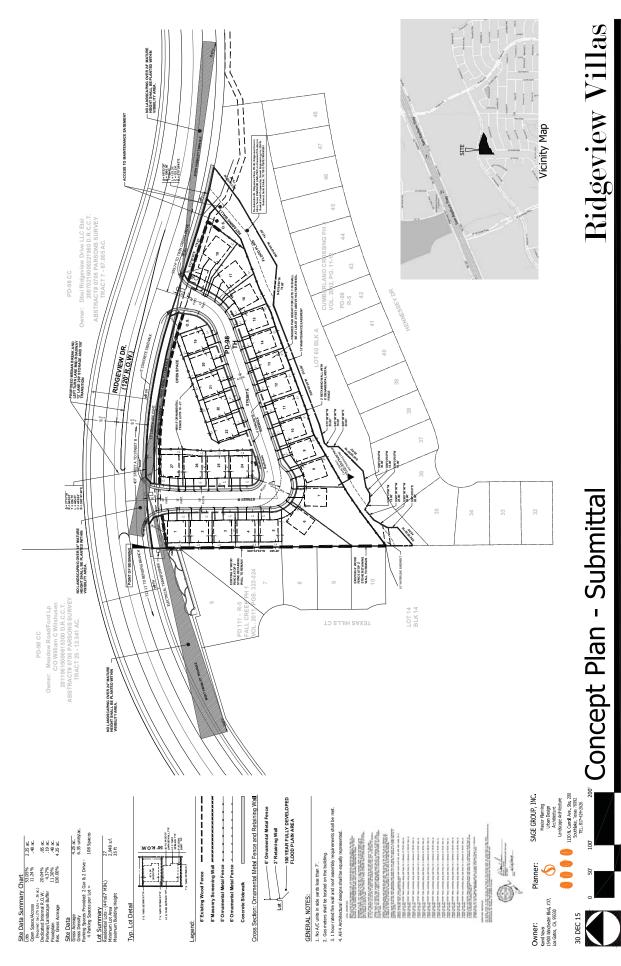
NOTE: This map is only for illustration purpose only, please contact the City of Allen Planning & Development Department for specific rules and regulations.



# DRAFT OF PROPOSED DEVELOPMENT REGULATIONS FOR RIDGEVIEW VILLAS

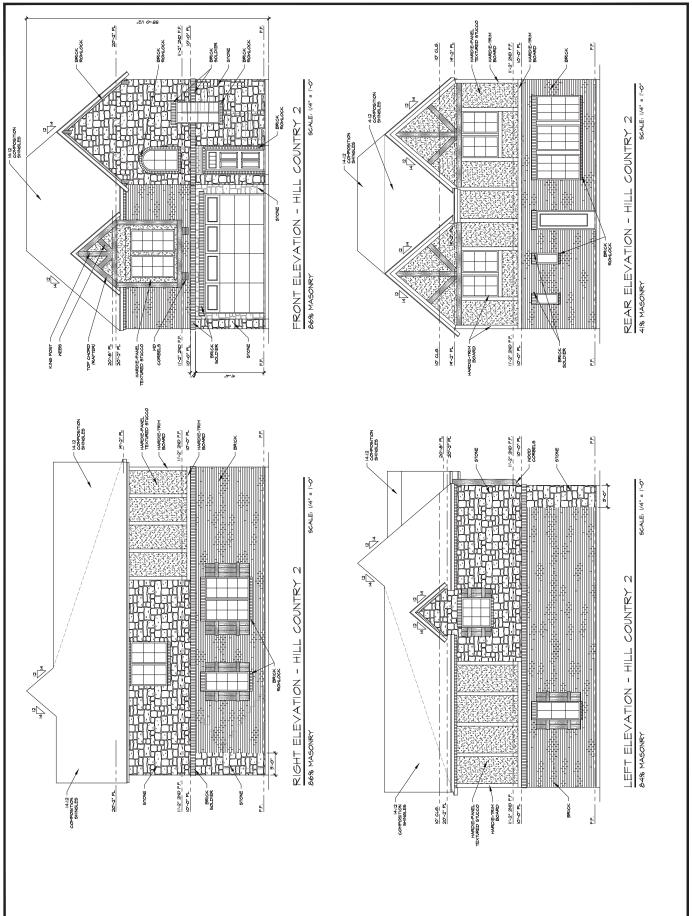
The Property shall be developed and used in accordance with the applicable provisions of the Allen Land Development Code, as amended, ("ALDC") except to the extent modified by the Development Regulations set forth below:

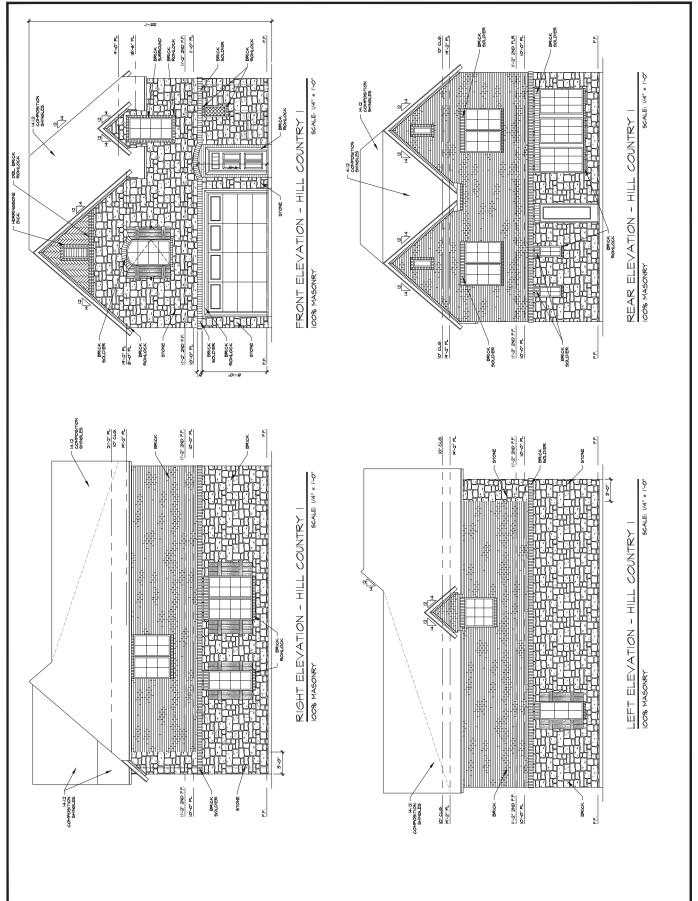
- **A. DESIGNATION OF TRACT C-1:** The portion of Tract C of PD-98 depicted on the Concept Plan attached hereto as Exhibit "A" and incorporated herein by reference, and any remaining portion of Tract C not previously re-designated as Tract C-2, is hereby re-designated as "Tract C-1".
- **B. BASE ZONING DISTRICT**: The Property shall be developed and used only in accordance with the Single-Family Residential District R-7 standards of the ALDC, except as otherwise provided herein.
- C. CONCEPT PLAN: The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit "A" and incorporated herein by reference. Minor modifications to streets that do not alter the general alignment shown on the Concept Plan may be made at the time of platting.
- **D. BUILDING ELEVATIONS**: The Property shall be developed in general conformance with the Building Elevations attached hereto as Exhibit "B", and incorporated herein by reference.
- **E. BUILDING SETBACKS:** The building setbacks for the Property shall be as follows:
  - **1.** Front Yard Setback: Fifteen Feet (15.0')
  - 2. Side Yard Setback: Seven Feet (7.0') on one side and Three Feet (3.0') on the other side
- **F. LOT AREA:** The minimum lot area shall be 2,948 square feet.
- **G. LOT WIDTH:** The minimum lot depth shall be 44 feet.
- **H. LOT DEPTH:** The minimum lot depth shall be 67 feet.
- **I. MINIMUM DWELLING UNIT SIZE:** The minimum dwelling unit size shall be 2,200 square feet.
- **J. DENSITY:** The maximum density shall be 6.35 residential units/acre.
- **K. GARAGES:** The minimum garage setback shall be 20 feet from the front property line.
- **L. DRIVEWAYS:** Driveways shall be treated with a decorative concrete aggregate.
- **M. SCREENING:** Screening on the Property shall be developed in general conformance with the Concept Plan (Exhibit "A").



Ridgeview Villas

Allen, Texas

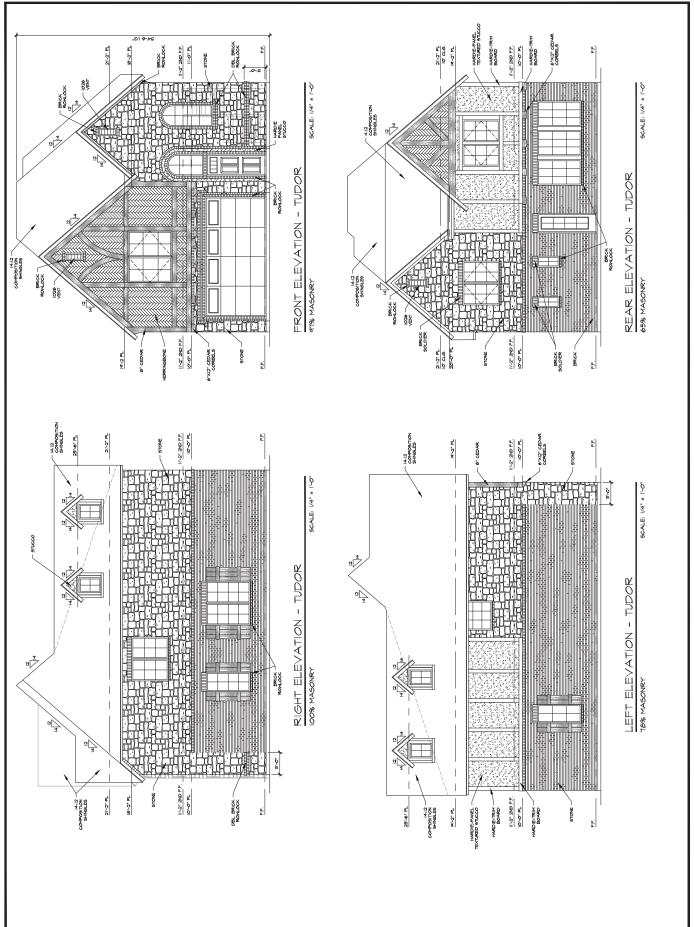




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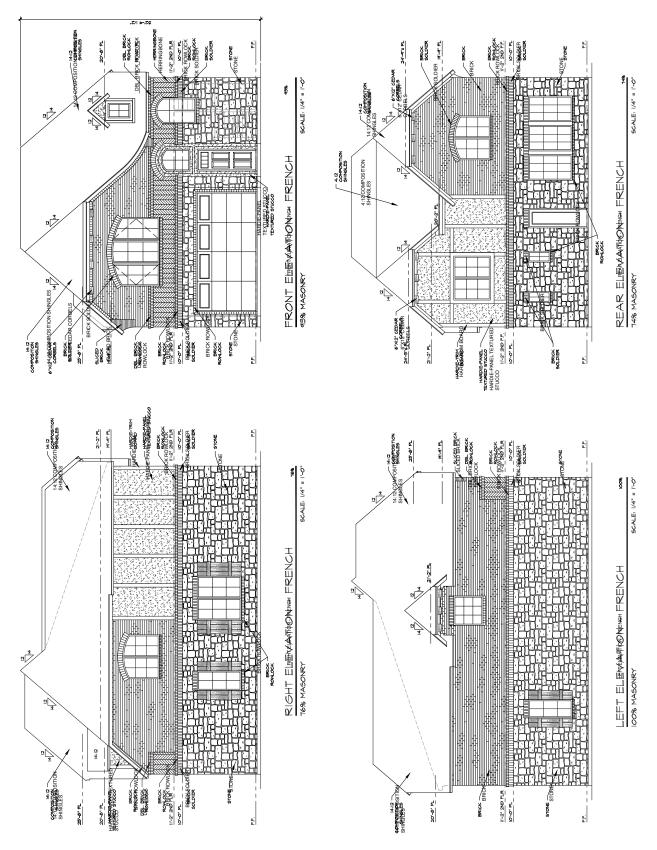


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DATE 6-12-2015 Red Line NAME KD, SE REVISIONS









RIGHT ELEVATION - HILL COUNTRY 2

REAR ELEVATION - HILL COUNTRY 2







RIGHT ELEVATION - HILL COUNTRY 1

REAR ELEVATION - HILL COUNTRY 1





FRONT ELEVATION - TUDOR

LEFT ELEVATION - TUDOR





REAR ELEVATION - TUDOR

RIGHT ELEVATION - TUDOR



FRONT ELEVATION - FRENCH



REAR ELEVATION - FRENCH



LEFT ELEVATION - FRENCH



RIGHT ELEVATION - FRENCH