



**AGENDA
CITY OF ALLEN
PLANNING AND ZONING COMMISSION
REGULAR MEETING
TUESDAY, JANUARY 7, 2014 – 7:00 P.M.
CITY COUNCIL CHAMBERS
ALLEN CITY HALL
305 CENTURY PARKWAY
ALLEN, TEXAS 75013**

Call to Order and Announce a Quorum is Present

Pledge of Allegiance

Directors Report

1. No meeting was held by City Council on December 24, 2013.

Consent Agenda *(Routine P&Z business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.)*

2. Approve minutes from the December 17, 2013, regular meeting.

Regular Agenda

3. Public Hearing – Conduct a Public Hearing and consider a Replat of Lot 25, Block G, Arbor Lakes Addition, City of Allen, Collin County, Texas, located at the southwest corner of Bethany Drive and Angel Parkway. (RP-8/27/13-59) [First Choice ER]
4. Public Hearing – Conduct a Public Hearing and consider a request to amend the Development Regulations of Planned Development No. 54 for Corridor Commercial “CC” relating to Lot 2-1, Block F, Bray Central Addition, City of Allen, Collin County, Texas; located west of US Hwy 75/Central Expressway and north of Village Way (and commonly known as 325/333 N. Central Expressway) to allow the property to be developed and used as a Hotel and adopt a Concept Plan, Landscape Plan, and Building Elevations related to such Hotel use. (Z-11/11/13-80) [Hyatt Allen Place]
5. Public Hearing – Conduct a Public Hearing and consider a request to change the zoning of Lots 1 and 2, Block A, Downing Estates, City of Allen, Collin County, Texas; generally located south of Stacy Road, north of Monaco Drive, and in between Goodman Drive and Prescott Road from Single Family Residential “R-3” to a Planned Development with a base zoning of Single Family Residential “R-6” and adopt a Concept Plan, Development Regulations, and Building Elevations. (Z-5/14/13-34) [The Enclave]
6. Public Hearing – Conduct a Public Hearing and consider a request to change the zoning of the property described as Cottonwood Business Park, an addition to the City of Allen, Collin County, Texas; generally located east of Jupiter Road and south of Park Place Drive, from Light Industrial “LI” zoning to a Planned Development for Single Family Residential “R-7” and adopt a Concept Plan, Development Regulations, and Building Elevations. (Z-10/14/13-70) [Cottonwood Crossing]

7. Public Hearing – Conduct a Public Hearing and consider a request to change the zoning of a 3.755± acre portion of Lot 59, Block 11, Walden Park Estates Addition, City of Allen, Collin County, Texas; generally located east of Greenville Avenue and south of High Meadow Drive from Local Retail “LR” zoning to a Planned Development with a base zoning of Community Facilities “CF”, for an Assisted Living/Memory Care use and adopt a Concept Plan, Development Regulations, and Building Elevations. (Z-11/11/13-79) [Avalon Homes]

Executive Session (*As needed*)

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

Adjournment

This notice was posted at Allen City Hall, 305 Century Parkway, Allen, Texas, at a place convenient and readily accessible to the public at all times. Said notice was posted on Friday, January 3, 2014, at 5:00 p.m.

Shelley B. George, City Secretary

Allen City Hall is wheelchair accessible. Access to the building and special parking are available at the entrance facing Century Parkway. Requests for sign interpreters or special services must be received forty-eight (48) hours prior to the meeting time by calling the City Secretary at 214-509-4105.

Director's Report from 12/24/13 City Council Meeting

There was no City Council meeting held on December 24, 2013.



**PLANNING AND ZONING
COMMISSION**

**Regular Meeting
December 17, 2013**

ATTENDANCE:

Commissioners Present:

Robert Wendland, Chairman
Jeff Cocking, 1st Vice Chair
Shirley Mangrum, 2nd Vice Chair
Barbara McNutt
John Ogrizovich
Stephen Platt, Jr.
Ben Trahan

City Staff Present:

Ogden “Bo” Bass, AICP, Director of Community Development
Shawn Poe, PE, Assistant Director of Engineering
Tiffany McLeod, Senior Planner
Shelby Griffin, Planner
Kevin Laughlin, City Attorney

Call to Order and Announce a Quorum is Present:

With a quorum of the Commissioners present, Chairman Wendland called the meeting to order at 7:00 p.m. in the City Hall Council Conference Room at Allen City Hall, 305 Century Parkway.

Director’s Report

1. Action taken on the Planning & Zoning Commission items by City Council at the December 10, 2013 regular meeting.

Consent Agenda

2. Approve minutes from the December 3, 2013, regular meeting.
3. Capital Improvement Program (CIP) Status Report.

Motion: **Upon a motion by 2nd Vice Chair Mangrum, and a second by Commissioner McNutt, the Commission voted 7 IN FAVOR, and 0 OPPOSED to approve the consent agenda.**

The motion carried.

Regular Agenda

4. Public Hearing – Conduct a Public Hearing and consider a request to amend the use and development regulations of Planned Development No. 46 to allow a 5.176± acre portion of Lot 3B-R, Block A, Deer Crest Addition, City of Allen, Collin County, Texas, bounded by Prestige Circle on the north, Jupiter Road on the east, the easternmost drive for the Greenville Oaks Church of Christ on the west and the alley for the Oak Hill subdivision on the south, to be developed and used for an Assisted Living and Senior Independent Living use. (Z-10/7/13-68) [CCC Allen Senior Living Community]

Shelby Griffin, Planner, presented to the Commission. This property is bounded by Prestige Circle on the north, Jupiter Road on the east, the easternmost drive for the Greenville Oaks Church of Christ on the west and the alley for the Oak Hill subdivision on the south.

Ms. Griffin explained that the applicant is requesting to amend a portion of PD No. 46 to develop an Assisted Living, Memory Care, and Senior Independent Living Community. The portion of the Planned Development being amended is located directly east of the Greenville Oaks Church of Christ.

She described the Concept Plan as showing three (3) access points. The Assisted Living and Memory Care portion of the development is located within the larger two (2) story building and will provide a total of 32 Assisted Living units and 32 Memory Care units.

Ms. Griffin explained that the cottages on the north half of the subject property will be for the Senior Independent Living use. There are a total of eleven (11) cottages and 2 units per cottage. The cottages will provide front porches and are intended to create a single family residential setting.

She explained that the applicant is exceeding the current PD screening standards by providing an eight foot (8') masonry wall along the entire south side of the property. The proposed screening along Jupiter Road and Prestige Circle will consist of an 8' wrought iron fence with stone columns and landscaping.

The Assisted Living and Memory Care building complies with the masonry standards in the *ALDC*. Ms. Griffin stated that the applicant is requesting that the Senior Independent Living cottages comply with the residential masonry requirement in the *ALDC*, requiring 75% of exterior façade to be masonry. Ms. Griffin also explained that the applicant is requesting for some of the setbacks to be reduced.

Ms. Griffin stated that the proposed PD Amendment has been reviewed by the Technical Review Committee and that staff is supportive of the request.

Chairman Wendland opened the Public Hearing.

With no one choosing to come forward, the Public Hearing was closed.

Chairman Wendland stated that there were three letters of support submitted. The following individuals submitted letters of support:

Christopher Hunter, 600 Heartland Drive, Allen, TX.

Reggie and Sally Smith, 534 White Oak Drive, Allen, TX.

Keith Malovy, Greenville Church of Christ, 703 S. Greenville Ave, Allen, TX.

Motion: Upon a motion by Commissioner Platt, and a second by Commissioner Ogrizovich, the Commission voted 7 IN FAVOR, and 0 OPPOSED recommended approval of the request to amend Planned Development No. 46 to be developed and used for an Assisted Living and Senior Independent Living use for a 5.176± acres portion of Lot 3B-R, Block A, Deer Crest Addn. for CCC Allen Senior Living Community.

The motion carried.

5. Public Hearing – Conduct a Public Hearing and consider a request to amend the development regulations for a 76.14± acre portion of District D of Planned Development No. 108 and to adopt a Concept Plan, Street Width and On-Street Parking Diagram, Street Section Exhibits, Screening and Entry Signage Diagram, Screening Elevations, Open Space and Trail Diagram, and Product Type Lot Layout and Building Elevation Exhibit, located in the Catherine Parsons Survey, Abstract No. 711, City of Allen, Collin County, Texas, and generally located south of Exchange Parkway, west of Watters Road, and east of Bray Central Drive. (Z-9/18/13-65) [The Village at Twin Creeks]

Ogden “Bo” Bass, AICP, Director of Community Development, presented to the Commission. The property is located south of Exchange Parkway, west of Watters Road, and east of Bray Central Drive.

He explained that Planned Development No. 108 was adopted in October of 2011 and that it created various districts with unique development standards for each district. The subject property falls within District D of PD No. 108. District D was intended to create a unique development for Allen; providing for a mix of housing types, diversity of housing sizes and architectural styles, strategically located civic space, streetscapes with urban character and pedestrian oriented streets and walkways.

Director Bass described the proposed residential development as being a 76.4± acre portion of District D. The Concept Plan shows a total of 352 front and rear entry lots, of various lot sizes integrated within the development. He explained that the density of the development falls within the permitted density range of 3.8 - 6.2 units/acre for PD 108 District D. The Concept Plan shows a total of four (4) access points along the perimeter arterial roads and provides approximately 16.0± acres of open space; which is distributed throughout the development as community parks, mews space, passive open space and periphery landscaping.

He explained that the existing development regulations for PD No. 108 are being modified to accommodate the proposed development in the following ways:

- The existing regulation to deed restrict the property to individuals 55 years and older is being removed.
- Design standards and exhibits are being incorporated and/or modified to establish the various housing types and lot dimensions, architectural styles, streetscapes, parking provisions, entryway signage and screening, open space areas and maintenance of common areas.

Director Bass explained that due to the floor plan designs, size of private open space on each lot and anticipated housing price points the target market for this development will be young professional and older active adult/empty nester. The target market does not generally produce a large number of school aged children. Therefore, impact to the school district will be minimal. Director Bass stated that this has

been confirmed through meetings with City staff, the developer and senior officials at the Allen Independent School District. The position of the superintendent's office is that the project will not generate a quantity of students that places a burden on the school district or adjacent school sites.

Director Bass stated that staff believes the proposed development meets the purpose and intent of Planned Development No. 108 District D.

He recommended approval of the request.

Jed Dolson, applicant, 3131 Harvard Ave, Suite 103, Dallas, Texas, presented to the Commission.

Chairman Wendland opened the Public Hearing.

David Hicks, 401 Woodlake Dr., Allen, Texas stated his support.

With no one else choosing to come forward, the Public Hearing was closed.

Commissioner McNutt stated that she was in support of the housing variety that this project would offer the City of Allen.

1st Vice Chair Cocking stated that he supported the wide parkways with the trees. He stated concern for side lots adjacent to the street and how the sidewalk, streetscape, and home function. Director Bass stated that there are a couple of those lots that exist within this development and that at a minimum the streetscape will be consistent to the rest of the development.

Director Bass stated the applicant has been very flexible to address all the concerns voiced within the development.

2nd Vice Chair Mangrum inquired about widths of the streets in comparison to other subdivisions. Director Bass stated the streets within most of this development show the typical street width of 31 feet, which is consistent with the *ALDC* single family residential subdivision regulations. All of the streets that are narrower than the typical 31 feet provide dedicated parallel parking spaces along the open space areas instead of the traditional on-street parking.

Chairman Wendland added that he was supportive of the project and how it embraces the changing housing demand and can add a lot to the City of Allen.

Motion: **Upon a motion by Commissioner Trahan, and a second by 2nd Vice Chair Mangrum, the Commission voted 7 IN FAVOR, and 0 OPPOSED to recommend approval of the request to amend the development regulations for a 76.4± acre portion of District D of Planned Development No. 108 and to adopt various design plans for the property generally located south of Exchange Parkway, west of Watters Road, and east of Bray Central Drive for The Village at Twin Creeks.**

The motion carried.

Adjournment

Upon acclamation, the meeting adjourned at 8:15 p.m.

These minutes approved this _____ day of _____ 2014.

Robert Wendland, Chairman

Shelby Griffin, Planner

Director's Report from 12/10/13 City Council Meeting

There were two items taken to the December 10, 2013 City Council Meeting.

- A request for a Specific Use Permit for outdoor display and storage uses for Wal-Mart Supercenter (730 W. Exchange Pkwy.) was approved.
- A request for a Specific Use Permit for a Bottling Works and Distribution use for Nine Band Brewing (9 Prestige Circle) was approved.

PLANNING & ZONING COMMISSION	AGENDA COMMUNICATION
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AGENDA DATE: January 7, 2014

SUBJECT: Conduct a Public Hearing and consider a Replat of Lot 25, Block G, Arbor Lakes Addition, City of Allen, Collin County, Texas, located at the southwest corner of Bethany Drive and Angel Parkway. (RP-8/27/13-59) [First Choice ER]

STAFF RESOURCE: Shelby Griffin
Planner

PREVIOUS COMMISSION/COUNCIL ACTION: PD No.70 Created – October, 1998
PD No. 70 Amended – January, 1999
PD No. 70 Amended – May, 1999
Final Plat Approved – January, 2000

LEGAL NOTICES: Public Hearing Sign – Installed December 27, 2013
Public Hearing Notices - Mailed December 27, 2013

BACKGROUND

The property is located at the southwest corner of Bethany Drive and Angel Parkway. The property to the north (across Bethany Drive) is zoned Shopping Center (SC). The properties to the east (across Angel Parkway) are located in the City of Parker. The properties to the south and west are zoned Planned Development No. 70 for Single Family Residential (R-6).

The subject property is 1.464± acres and zoned Planned Development No. 70 for Local Retail (LR). A site plan has been approved by the Director of Community Development for a medical clinic use at this location. The next step in the development process is to Replat the property.

There are two access points into the site; one access point off of Bethany Drive and the second off of Angel Parkway. The Replat shows a five foot (5') Right Of Way (ROW) dedication on both Bethany Drive and Angel Parkway and various drainage, firelane access, gas, utility, and water easements.

The Replat has gone through the Technical Review Committee and it does meet the standards of the *Allen Land Development Code (ALDC)* and the standards of Planned Development No. 70.

STAFF RECOMMENDATION

Staff recommends approval.

MOTION

I make a motion to approve the Replat for Lot 25, Block G, for Arbor Lakes Addition for First Choice ER.

ATTACHMENTS

Replat

PLANNING & ZONING COMMISSION AGENDA COMMUNICATION

AGENDA DATE: January 7, 2014

SUBJECT: Conduct a Public Hearing and consider a request to amend the Development Regulations of Planned Development No. 54 for Corridor Commercial “CC” relating to Lot 2-1, Block F, Bray Central Addition, City of Allen, Collin County, Texas; located west of US Hwy 75/Central Expressway and north of Village Way (and commonly known as 325/333 N. Central Expressway) to allow the property to be developed and used as a Hotel and adopt a Concept Plan, Landscape Plan, and Building Elevations related to such Hotel use. (Z-11/11/13-80) [Hyatt Allen Place]

STAFF RESOURCE: Tiffany McLeod
Senior Planner

PREVIOUS COMMISSION/COUNCIL ACTION: PD 54 Created – May, 1993
Zoning Amended – October, 1998
Replat – June, 2002

LEGAL NOTICES: Public Hearing Sign – Installed December 27, 2013
Public Hearing Notices – Mailed December 27, 2013

BACKGROUND

The property is located west of US 75 and north of Village Way (and commonly known as 325/333 N. Central Expressway). The property to the north is zoned Planned Development No. 54 for Industrial Technology use. The property to the east (across US 75/ Central Expressway) is zoned for Single Family Residential (R-5) use. The property to the south is zoned Planned Development No. 54 for Corridor Commercial use. The property to the west (across Junction Drive) is zoned Planned Development No. 108 for Mixed use.

The applicant proposes to build a limited service hotel on the subject property. The property is currently zoned Planned Development PD No. 54 for Corridor Commercial (CC) use. The existing PD No. 54 requires a Specific Use Permit SUP for a hotel use. In addition, PD No. 54 requires a minimum front yard setback of 100 feet along US 75 and an additional one foot to the side and rear yard setbacks for every foot of added height for buildings that exceed 45 feet. The applicant is requesting to amend these development regulations to allow a hotel use by right, reduce the front yard setback along US 75 to 70 feet and remove the requirement of the additional one foot applied to the side yard setback for buildings that exceed 45 feet in height.

The attached Concept Plan shows the proposed limited service hotel. The building is four (4) stories and approximately 63,000 square feet; with 103 guest rooms. The number of parking spaces as well as the provided landscaping exceeds the requirements of the Allen Land Development Code (ALDC). The use is compatible with the surrounding area.

The site design also complies with the requirements of the *ALDC, Section 6.06.3.Hotels*. One of these requirements is that “an attached, covered, drive-through area adjacent to the hotel lobby or main desk shall be provided for the temporary parking of vehicles during guest registration or check-out”. This covered area is shown on the plan, located on the east side of the building. The City’s Thoroughfare Plan requires a 30 foot R.O.W. dedication along US 75. The 30 foot shift of the property line causes the attached, covered drive-

through area (or porte-cochere) to encroach in the 100 foot front yard setback. Reducing the minimum required front yard setback to 70 feet along US 75 eliminates this encroachment.

The building height is approximately 53 feet. The minimum side and rear yard setback, per PD No. 54, is 32 feet for a building of this height. The applicant is requesting a side yard setback of 25 feet (which is the *ALDC* standard for CC zoning) to accommodate the northern end of the building.

Building Elevations are also being incorporated into this PD amendment request. The attached elevations show the exterior materials consisting of stucco and stone veneer. The elevations have been approved by the Twin Creeks Architectural Committee.

The PD amendment request has been reviewed by the Technical Review Committee. The Concept Plan complies with both PD Amendment Concept Plan and SUP Site Plan checklist requirements.

STAFF RECOMMENDATION

Staff recommends approval.

MOTION

I make a motion to recommend approval of the request to amend the Development Regulations of Planned Development No. 54 for Corridor Commercial "CC" relating to Lot 2-1, Block F, Bray Central Addition, City of Allen, Collin County, Texas; (and commonly known as 325/333 N. Central Expressway) to allow the property to be developed and used as a Hotel and adopt a Concept Plan, Landscape Plan, and Building Elevations for Hyatt.




ATTACHMENTS

Property Notification Map
Concept Plan
Landscape Plan
Development Regulations
Building Elevations



Property Ownership Notification
Hyatt Allen Place
PD Amendment

Legend

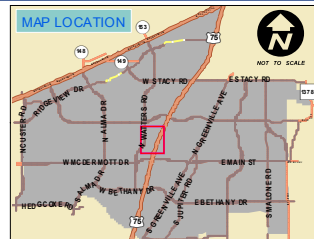
-  Parcels within 200'
-  City Limit
-  CollinCAD Parcels

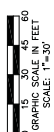


0 190 380
Feet

Community Development - GIS
Date Saved: 12/19/2013

NOTE: This map is only for illustration purpose only, please contact the City of Allen Planning & Development Department for specific rules and regulations.





ACINITY MAP

[illegible]

GENERAL NOTES:

- APPLICANT SHALL COMPLY WITH CITY ORDINANCE, CHAPTER 6, HEALTH AND ENVIRONMENT; ARTICLE 10, SOLID WASTE; SECTIONS 6-51 TO 6-80.



PD AMENDMENT CONCEPT PLAN
 FOR
 HYATT
 LOCATED AT
 LOT 2-1, BLOCK F
 OF THE
 BRAY CENTRAL ONE ADDITION
 2.489 ACRES
 CENTRAL
 EXPRESSWAY NORTH
 ALLEN, TEXAS
 COLLIN COUNTY
 SUBMITTED: 9/13/2013

OWNER/ APPLICANT: ALLEN HOTELS, LP
2009 SOUTH COTTONWOOD VALLEY CIRCLE
IRVING, TEXAS 75039
PHONE: (469) 222-6968

ENGINEER: ICON CONSULTING ENGINEERS, INC.
250 W. SOUTHLAKE BLVD., SUITE 117
SOUTHLAKE, TEXAS 76092
PHONE: (817) 552-6210
FAX: (817) 778-4845
CONTACT: DAVID C. GREGORY, P.E.
ENGINEERING FIRM REGISTRATION NUMBER

CONTACT: DAVID C. GREGORY, P.E.
ENGINEERING FIRM REGISTRATION NUMBER F-9007

SUBMITTED: 9/13/2013



HYATT
PLACE™

Central Expressway North
Allen, TX



112 NW 24th Street
Fort Worth, TX 76164
phone 817.680.5921
www.jirkdesign.us

ALLEN HOTELS, LP
2009 S COTTONWOOD
VALLEY CIRCLE
IRVING, TX 75038

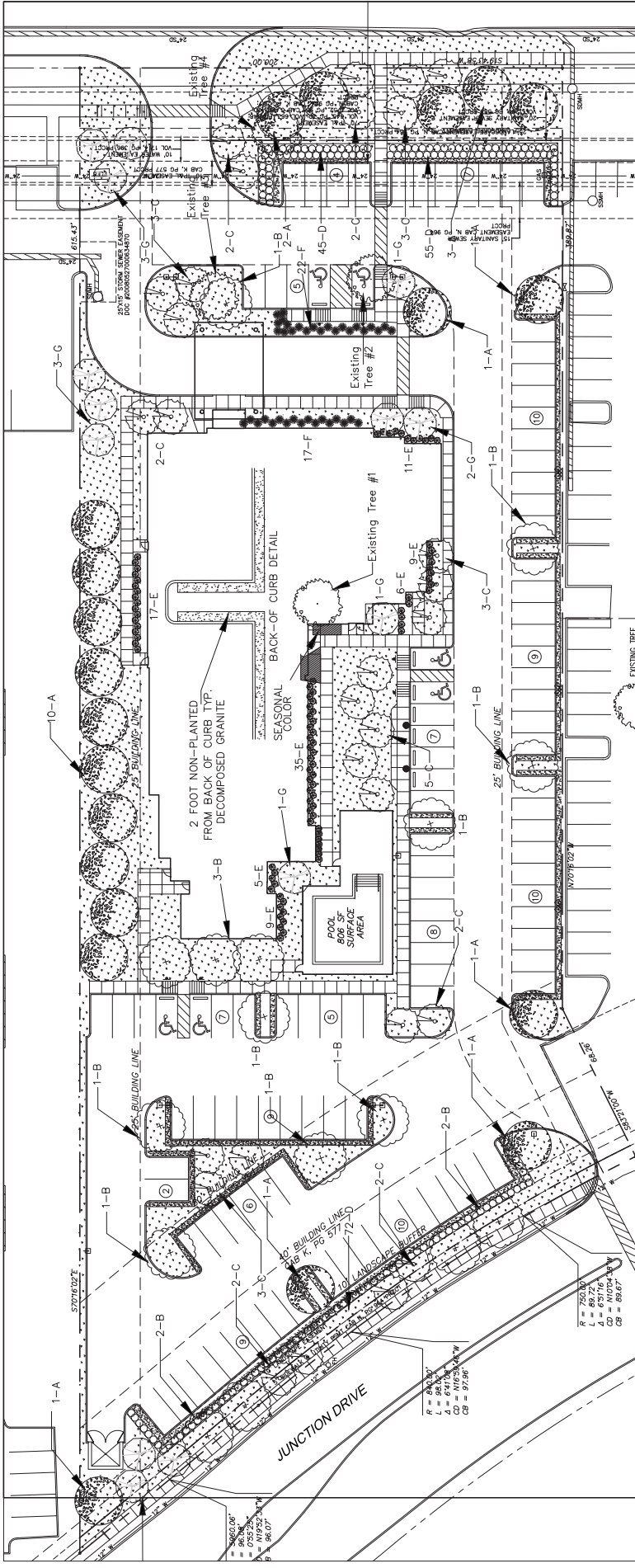


REVISIONS

DATE
1.2.14

SHEET TITLE
HYATT
PLACE
PLAN

SHEET NO.
L1



GENERAL NOTES

- All landscape areas to be installed common to the project. All other plant material is optional.
- All trees and shrubs to be planted in mulch beds with edge strips to separate from adjacent areas.
- Soil to extend from property lines to back of city sidewalk and/or curbs.
- For any landscape area designated to be planted with trees, shrubs, or vines, then the contractor shall be responsible for the cost of the plants and the cost of the labor to install them.
- Planted material in landscape areas shall be installed within the specified time frame after the start of the project.
- Planted material shall be installed in the top of the surrounding curb.
- Planted material shall be installed in the top of the surrounding curb.
- Planted material shall be installed in the top of the surrounding curb.

PLANT LIST

PLANT CODE	PLANT NAME	PLANT SIZE	PLANT QUANTITY
1-A	SHRUB	12" x 12" x 12"	10
2-B	SHRUB	12" x 12" x 12"	10
3-C	SHRUB	12" x 12" x 12"	10
4-D	SHRUB	12" x 12" x 12"	10
5-E	SHRUB	12" x 12" x 12"	10
6-F	SHRUB	12" x 12" x 12"	10
7-G	SHRUB	12" x 12" x 12"	10
8-H	SHRUB	12" x 12" x 12"	10
9-I	SHRUB	12" x 12" x 12"	10
10-J	SHRUB	12" x 12" x 12"	10
11-K	SHRUB	12" x 12" x 12"	10
12-L	SHRUB	12" x 12" x 12"	10
13-M	SHRUB	12" x 12" x 12"	10
14-N	SHRUB	12" x 12" x 12"	10
15-O	SHRUB	12" x 12" x 12"	10
16-P	SHRUB	12" x 12" x 12"	10
17-Q	SHRUB	12" x 12" x 12"	10
18-R	SHRUB	12" x 12" x 12"	10
19-S	SHRUB	12" x 12" x 12"	10
20-T	SHRUB	12" x 12" x 12"	10
21-U	SHRUB	12" x 12" x 12"	10
22-V	SHRUB	12" x 12" x 12"	10
23-W	SHRUB	12" x 12" x 12"	10
24-X	SHRUB	12" x 12" x 12"	10
25-Y	SHRUB	12" x 12" x 12"	10
26-Z	SHRUB	12" x 12" x 12"	10
27-AA	SHRUB	12" x 12" x 12"	10
28-AB	SHRUB	12" x 12" x 12"	10
29-AC	SHRUB	12" x 12" x 12"	10
30-AD	SHRUB	12" x 12" x 12"	10
31-AE	SHRUB	12" x 12" x 12"	10
32-AF	SHRUB	12" x 12" x 12"	10
33-AG	SHRUB	12" x 12" x 12"	10
34-AH	SHRUB	12" x 12" x 12"	10
35-AI	SHRUB	12" x 12" x 12"	10
36-AJ	SHRUB	12" x 12" x 12"	10
37-AK	SHRUB	12" x 12" x 12"	10
38-AL	SHRUB	12" x 12" x 12"	10
39-AM	SHRUB	12" x 12" x 12"	10
40-AN	SHRUB	12" x 12" x 12"	10
41-AO	SHRUB	12" x 12" x 12"	10
42-AP	SHRUB	12" x 12" x 12"	10
43-AQ	SHRUB	12" x 12" x 12"	10
44-AR	SHRUB	12" x 12" x 12"	10
45-AS	SHRUB	12" x 12" x 12"	10
46-AT	SHRUB	12" x 12" x 12"	10
47-AU	SHRUB	12" x 12" x 12"	10
48-AV	SHRUB	12" x 12" x 12"	10
49-AW	SHRUB	12" x 12" x 12"	10
50-AX	SHRUB	12" x 12" x 12"	10
51-AY	SHRUB	12" x 12" x 12"	10
52-AZ	SHRUB	12" x 12" x 12"	10
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55-BB	SHRUB	12" x 12" x 12"	10
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57-BC	SHRUB	12" x 12" x 12"	10
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73-BC	SHRUB	12" x 12" x 12"	10
74-BC	SHRUB	12" x 12" x 12"	10
75-BC	SHRUB	12" x 12" x 12"	10
76-BC	SHRUB	12" x 12" x 12"	10
77-BC	SHRUB	12" x 12" x 12"	10
78-BC	SHRUB	12" x 12" x 12"	10
79-BC	SHRUB	12" x 12" x 12"	10
80-BC	SHRUB	12" x 12" x 12"	10
81-BC	SHRUB	12" x 12" x 12"	10
82-BC	SHRUB	12" x 12" x 12"	10
83-BC	SHRUB	12" x 12" x 12"	10
84-BC	SHRUB	12" x 12" x 12"	10
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86-BC	SHRUB	12" x 12" x 12"	10
87-BC	SHRUB	12" x 12" x 12"	10
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89-BC	SHRUB	12" x 12" x 12"	10
90-BC	SHRUB	12" x 12" x 12"	10
91-BC	SHRUB	12" x 12" x 12"	10
92-BC	SHRUB	12" x 12" x 12"	10
93-BC	SHRUB	12" x 12" x 12"	10
94-BC	SHRUB	12" x 12" x 12"	10
95-BC	SHRUB	12" x 12" x 12"	10
96-BC	SHRUB	12" x 12" x 12"	10
97-BC	SHRUB	12" x 12" x 12"	10
98-BC	SHRUB	12" x 12" x 12"	10
99-BC	SHRUB	12" x 12" x 12"	10
100-BC	SHRUB	12" x 12" x 12"	10

LANDSCAPE PLAN CITY OF ALLEN

PLANT CODE	PLANT NAME	PLANT SIZE	PLANT QUANTITY
1-A	SHRUB	12" x 12" x 12"	10
2-B	SHRUB	12" x 12" x 12"	10
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5-E	SHRUB	12" x 12" x 12"	10
6-F	SHRUB	12" x 12" x 12"	10
7-G	SHRUB	12" x 12" x 12"	10
8-H	SHRUB	12" x 12" x 12"	10
9-I	SHRUB	12" x 12" x 12"	10
10-J	SHRUB	12" x 12" x 12"	10
11-K	SHRUB	12" x 12" x 12"	10
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13-M	SHRUB	12" x 12" x 12"	10
14-N	SHRUB	12" x 12" x 12"	10
15-O	SHRUB	12" x 12" x 12"	10
16-P	SHRUB	12" x 12" x 12"	10
17-Q	SHRUB	12" x 12" x 12"	10
18-R	SHRUB	12" x 12" x 12"	10
19-S	SHRUB	12" x 12" x 12"	10
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24-X	SHRUB	12" x 12" x 12"	10
25-Y	SHRUB	12" x 12" x 12"	10
26-Z	SHRUB	12" x 12" x 12"	10
27-AA	SHRUB	12" x 12" x 12"	10
28-AB	SHRUB	12" x 12" x 12"	10
29-AC	SHRUB	12" x 12" x 12"	10
30-AD	SHRUB	12" x 12" x 12"	10
31-AE	SHRUB	12" x 12" x 12"	10
32-AF	SHRUB	12" x 12" x 12"	10
33-AG	SHRUB	12" x 12" x 12"	10
34-AH	SHRUB	12" x 12" x 12"	10
35-AI	SHRUB	12" x 12" x 12"	10
36-AJ	SHRUB	12" x 12" x 12"	10
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38-AL	SHRUB	12" x 12" x 12"	10
39-AM	SHRUB	12" x 12" x 12"	10
40-AN	SHRUB	12" x 12" x 12"	10
41-AO	SHRUB	12" x 12" x 12"	10
42-AP	SHRUB	12" x 12" x 12"	10
43-AQ	SHRUB	12" x 12" x 12"	10
44-AR	SHRUB	12" x 12" x 12"	10
45-AS	SHRUB	12" x 12" x 12"	10
46-AT	SHRUB	12" x 12" x 12"	10
47-AU	SHRUB	12" x 12" x 12"	10
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49-AW	SHRUB	12" x 12" x 12"	10
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52-AZ	SHRUB	12" x 12" x 12"	10
53-BA	SHRUB	12" x 12" x 12"	10
54-BB	SHRUB	12" x 12" x 12"	10
55-BB	SHRUB	12" x 12" x 12"	10
56-BC	SHRUB	12" x 12" x 12"	10
57-BC	SHRUB	12" x 12" x 12"	10
58-BC	SHRUB	12" x 12" x 12"	10
59-BC	SHRUB	12" x 12" x 12"	10
60-BC	SHRUB	12" x 12" x 12"	10
61-BC	SHRUB	12" x 12" x 12"	10
62-BC	SHRUB	12" x 12" x 12"	10
63-BC	SHRUB	12" x 12" x 12"	10
64-BC	SHRUB	12" x 12" x 12"	10
65-BC	SHRUB	12" x 12" x 12"	10
66-BC	SHRUB	12" x 12" x 12"	10
67-BC	SHRUB	12" x 12" x 12"	10
68-BC	SHRUB	12" x 12" x 12"	10
69-BC	SHRUB	12" x 12" x 12"	10
70-BC	SHRUB	12" x 12" x 12"	10
71-BC	SHRUB	12" x 12" x 12"	10
72-BC	SHRUB	12" x 12" x 12"	10
73-BC	SHRUB	12" x 12" x 12"	10
74-BC	SHRUB	12" x 12" x 12"	10
75-BC	SHRUB	12" x 12" x 12"	10
76-BC	SHRUB	12" x 12" x 12"	10
77-BC	SHRUB	12" x 12" x 12"	10
78-BC	SHRUB	12" x 12" x 12"	10
79-BC	SHRUB	12" x 12" x 12"	10
80-BC	SHRUB	12" x 12" x 12"	10
81-BC	SHRUB	12" x 12" x 12"	10
82-BC	SHRUB	12" x 12" x 12"	10
83-BC	SHRUB	12" x 12" x 12"	10
84-BC	SHRUB	12" x 12" x 12"	10
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91-BC	SHRUB	12" x 12" x 12"	10
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93-BC	SHRUB	12" x 12" x 12"	10
94-BC	SHRUB	12" x 12" x 12"	10
95-BC	SHRUB	12" x 12" x 12"	10
96-BC	SHRUB	12" x 12" x 12"	10
97-BC	SHRUB	12" x 12" x 12"	10
98-BC	SHRUB	12" x 12" x 12"	10
99-BC	SHRUB	12" x 12" x 12"	10
100-BC	SHRUB	12" x 12" x 12"	10

LANDSCAPE PLAN CITY OF ALLEN

PLANT CODE	PLANT NAME	PLANT SIZE	PLANT QUANTITY
1-A	SHRUB	12" x 12" x 12"	10
2-B	SHRUB	12" x 12" x 12"	10
3-C	SHRUB	12" x 12" x 12"	10
4-D	SHRUB	12" x 12" x 12"	10
5-E	SHRUB	12" x 12" x 12"	10
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53-BA	SHRUB	12" x 12" x 12"	10
54-BB	SHRUB	12" x 12" x 12"	10
55-BB	SHRUB	12" x 12" x 12"	10

DRAFT OF PROPOSED DEVELOPMENT REGULATIONS
FOR HYATT

- A. **BASE ZONING DISTRICT:** The Property shall be developed and used only in accordance with the “CC-E” Corridor Commercial development regulations of Planned Development No. 54 and the Allen Land Development Code (“ALDC”) except as otherwise provided herein.
- B. **USE:** In addition to the other uses permitted on the Property, the Property may be developed and used as a hotel by right if developed in accordance with the following:
- (1) **CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit ____ and incorporated herein by reference. Minor modifications to streets that do not alter the general alignment shown on the Concept Plan may be made at the time of Site Plan approval.
 - (2) **BUILDING ELEVATIONS:** The Property shall be developed in general conformance with the Building Elevations attached hereto as Exhibit __ and incorporated herein by reference.
 - (3) **FRONT YARD SETBACK:** The minimum front yard setback shall be 70 feet along U.S. 75.
 - (4) **SIDE YARD SETBACK:** The minimum side yard setback shall be 25 feet.
 - (5) **HEIGHT:** The additional setback requirement for structures exceeding 45 foot in height set forth in Section 3.b. of the “CC-E” Corridor Commercial District Regulations” in Section IV “Non-Residential Districts,” Subsection B “District Regulations” of Planned Development No. 54, as amended, shall not apply to a hotel constructed on the Property as long as the structure does not exceed the height shown on the Building Elevations (Exhibit __, attached hereto) and the structure is otherwise located on the Property substantially as shown on the Concept Plan (Exhibit __, attached hereto).



**HYATT
PLACE**
Central Expressway North
Allen, TX



112 NW 24th Street
Fort Worth, TX 76164
phone 817 880 5921
www.jrkdesign.us

ALLEN HOTELS, LP
2009 S COTTONWOOD
VALLEY CIRCLE
IRVING, TX 75038

SIMULATED STONE VENEER:
HYATT PLACE CENTRAL EXPRESSWAY NORTH
ALLEN, TEXAS
COLOR: COLUMBIA FOUR REGION

THREE COAT STUCCO	
COUSEL	
TEXTURE: SMOOTH	
COUSEL B	
TEXTURE: SMOOTH	
COUSEL C	
TEXTURE: SMOOTH	
COUSEL D	
TEXTURE: SMOOTH	
COUSEL E	
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COUSEL F	
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COUSEL V	
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COUSEL X	
TEXTURE: SMOOTH	
COUSEL Y	
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COUSEL Z	
TEXTURE: SMOOTH	

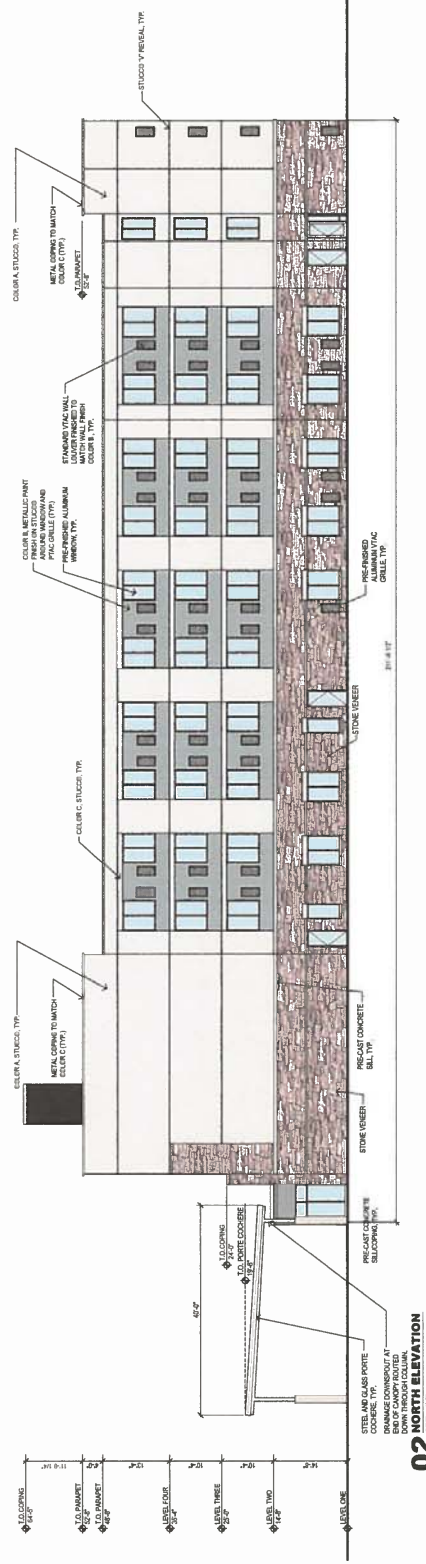
FACADE FINISH CALCULATION

STONE VENEER: 40%
STUCCO: 60%
METAL CORING: 10%



FACADE FINISH CALCULATION

STONE VENEER: 40%
STUCCO: 60%
METAL CORING: 10%



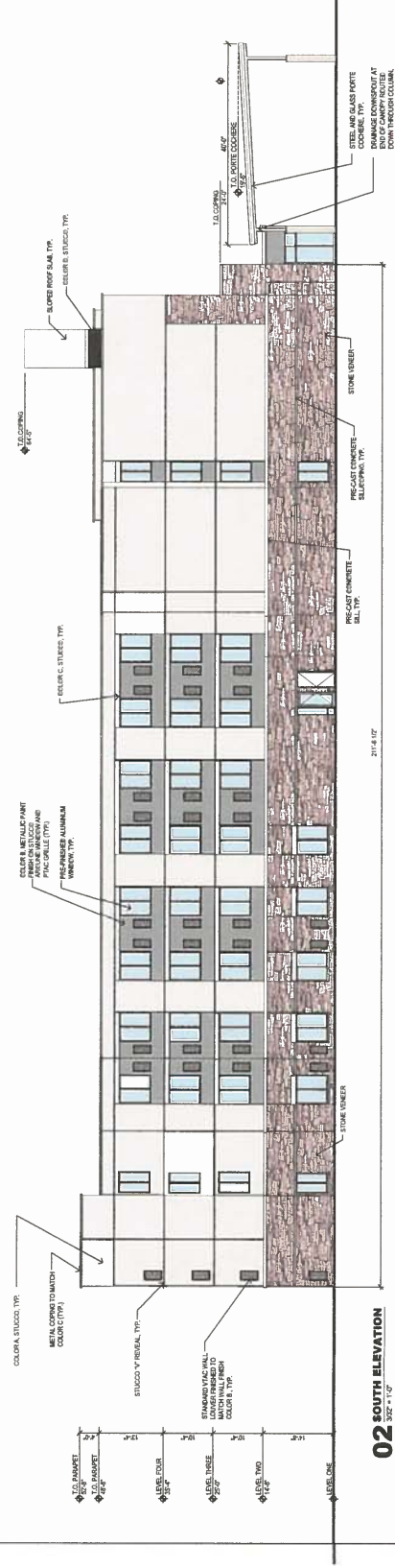
FACADE FINISH CALCULATION

STUCCO : 97%
METALS (ROOFING, LOUVERS) : 3%

01 WEST ELEVATION
3/28" x 1 1/2"
$$\frac{d\mathbf{r}}{dt} = \mathbf{v}$$

FACADE FINISH CALCULATION

STONE VENEER : 7%
STUCCO : 83%
METALS (COPING, LOUVERS) : 3%



02 SOUTH ELEVATION

$$\frac{1}{1-q}$$

PLANNING & ZONING COMMISSION AGENDA COMMUNICATION

AGENDA DATE: January 7, 2014

SUBJECT: Conduct a Public Hearing and consider a request to change the zoning of Lots 1 and 2, Block A, Downing Estates, City of Allen, Collin County, Texas; generally located south of Stacy Road, north of Monaco Drive, and in between Goodman Drive and Prescott Road from Single Family Residential “R-3” to a Planned Development with a base zoning of Single Family Residential “R-6” and adopt a Concept Plan, Development Regulations, and Building Elevations. (Z-5/14/13-34) [The Enclave]

STAFF RESOURCE: Tiffany McLeod
Senior Planner

PREVIOUS COMMISSION/COUNCIL ACTION: Annexed and Zoned R-3 – July, 2004
Combination Plat Approved – February, 2008

LEGAL NOTICES: Public Hearing Sign – Installed December 27, 2013
Public Hearing Notices – Mailed December 27, 2013

BACKGROUND

The property is generally located south of Stacy Road and east of Goodman Drive. The property to the north is the City of Fairview. The property to the east is zoned Planned Development No. 85 for Single Family Residential (R-4) use. The properties to the south and west are zoned Single Family Residential (R-3) use.

The property is currently zoned Single-family Residential (R-3). The applicant’s request is to change the zoning from R-3 to a Planned Development (PD) with a base zoning of Single-family Residential (R-6). The attached Concept Plan shows 18 front entry lots with an average lot size of 62’ x 110’. The plan also shows approximately 1.79± acres of floodplain and detention areas (which will be dedicated and maintained by the established HOA).

There are two (2) access points for the property. The primary access point for the development is located on Stacy Road. There is also a gated emergency access drive on the southern end of the property that connects to Monaco Drive. Sidewalks will be built to connect the development to the Stacy Ridge Estates Phase III subdivision. An escrow account will be created and held by the City for sidewalks to ultimately be built along Stacy Road once it is widened.

Screening for the property will consist of an eight foot (8’) masonry wall located at the southern end of the detention areas along Stacy Road, an eight foot (8’) masonry wall along the southern end of Lot 12 and eight foot (8’) wrought iron with emergency access gate at the southern emergency access driveway.

The primary exterior building materials consist of brick, stone, and composition shingle roofing. The minimum dwelling unit size is 2,200 square feet; which exceeds the R-6 standard.

The PD request has been reviewed by the Technical Review Committee.

STAFF RECOMMENDATION

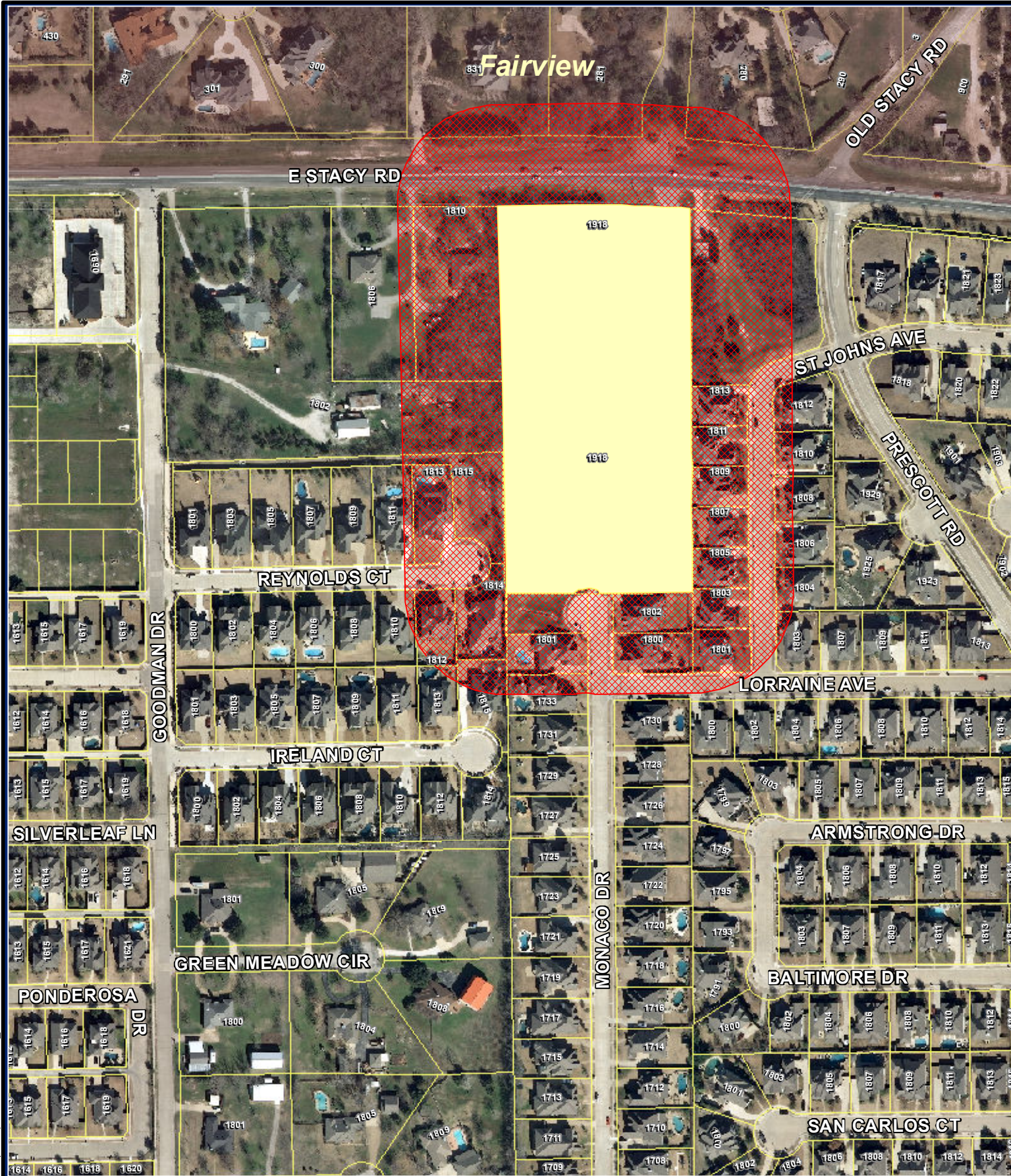
Staff recommends approval.

MOTION

I make a motion to recommend approval of the request to create a Planned Development for Lots 1 and 2, Block A, Downing Estates, generally located east of Goodman Drive and south of Stacy Road, and adopt a Concept Plan, Development Regulations and Building Elevations for The Enclave.

ATTACHMENTS




Property Notification Map
Concept Plan
Development Regulations
Building Elevations



Property Ownership Notification

The Enclave

Legend

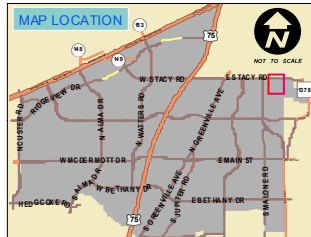
-  Parcels within 200'
-  City Limit
-  CollinCAD Parcels

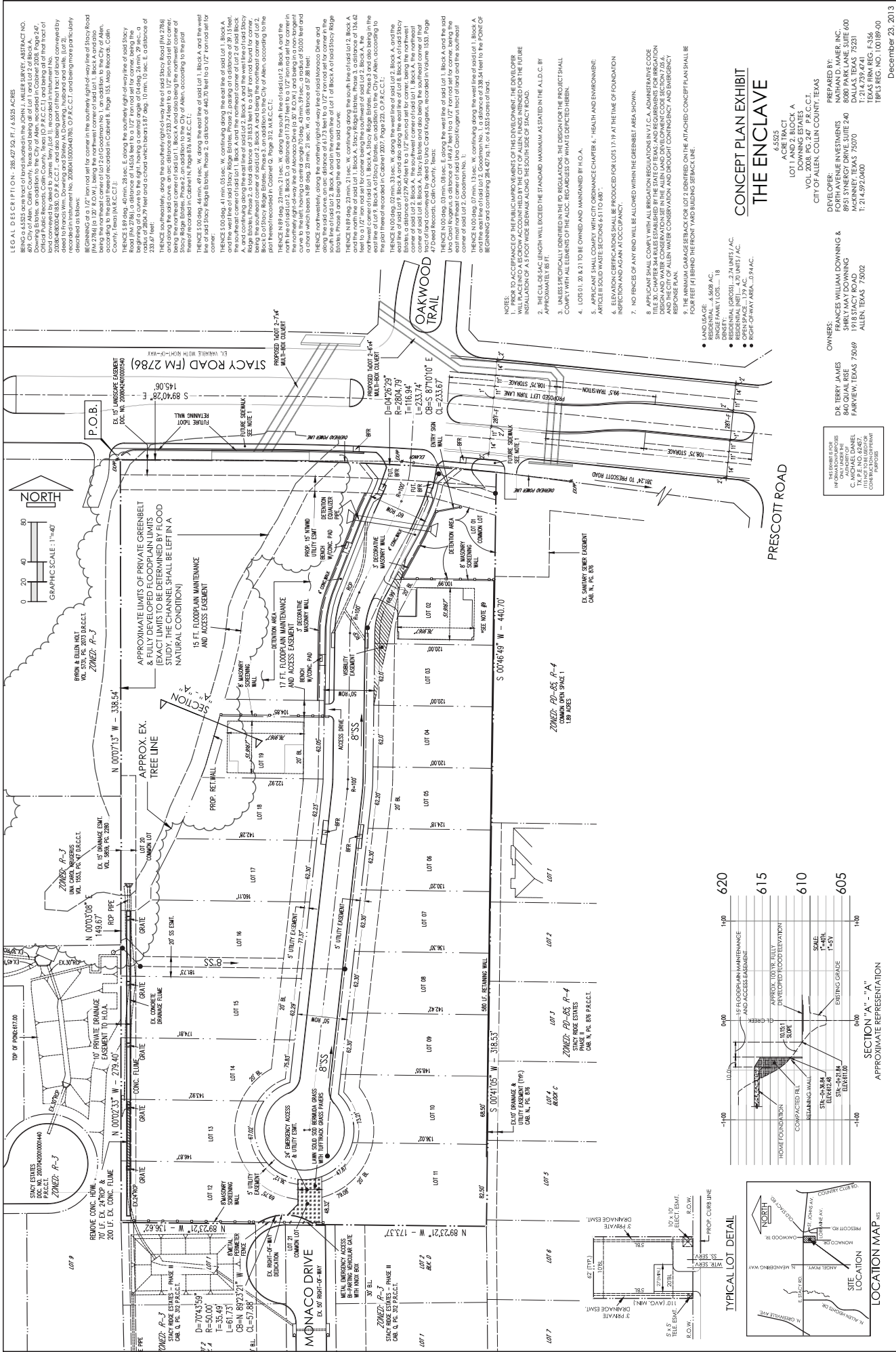


0 125 250
Feet

Community Development - GIS
Date Saved: 12/19/2013

NOTE: This map is only for illustration purpose only, please contact the City of Allen Planning & Development Department for specific rules and regulations.



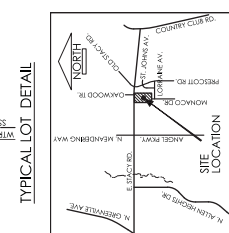
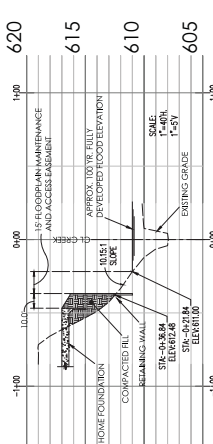


CONCEPT PLAN EXHIBIT
THE ENCLAVE

6.5503 AC
LOT 1 AND 2, BLOCK A
DOWNING ESTATES
VOL. 2008 PG. 247 P.R.C.C.T.
CITY OF ALLEN, COLLIN COUNTY, TEXAS
DEVELOPER: RICHARD L. DOWNING
8951 STYNER DRIVE, SUITE 240
DALLAS, TEXAS 75231
1:214,922,040
TBR'S REG. NO. 100189-00

OWNERS: FRANCES WILLIAM DOWNING &
SHIRLEY MAY DOWNING
1918 STACY ROAD
ALLEN, TEXAS 75002

PREPARED BY:
C. MICHAEL DANIEL
11110 N. DALLAS STREET
DALLAS, TEXAS 75243
FOR CONCEPT PURPOSES



SECTION "A" - "A"
APPROXIMATE REPRESENTATION

LOCATION MAP

DRAFT OF PROPOSED DEVELOPMENT REGULATIONS
FOR THE ENCLAVE

- A. **BASE ZONING DISTRICT:** The Property shall be developed and used only in accordance with the development regulations of the Single-Family Residential “R-6” zoning regulations of the Allen Land Development Code (“ALDC”), except as otherwise provided herein.
- B. **CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit ____ and incorporated herein by reference. Minor modifications to streets that do not alter the general alignment shown on the Concept Plan may be made at the time of Site Plan approval.
- C. **BUILDING ELEVATIONS:** The Property shall be developed in general conformance with the Building Elevations attached hereto as Exhibit __ and incorporated herein by reference.
- D. **LOT AREA:** The minimum lot area shall be 6,600 square feet.
- E. **DWELLING UNIT SIZE:** The minimum dwelling unit size shall be 2,200 square feet.
- F. **LOT WIDTH:** The minimum lot width shall be 62 feet.
- G. **LOT DEPTH:** The average lot depth shall be 110 feet.
- H. **SIDEWALKS:** Prior to issuance of any building permit for construction on any portion of the Property, an escrow account shall be established or an agreement entered into with the City in accordance with Section 8.25 of the ALDC with respect to the delayed construction of the five foot (5’) sidewalks that are required to be built along Stacy Road.
- I. **SCREENING:** Screening for the property shall consist of an eight foot (8’) masonry wall and a combination of an eight foot (8’) masonry and eight foot (8’) wrought iron fencing as shown on the attached Concept Plan. No certificate of occupancy shall be issued for any building constructed on the Property until the City’s Building Official and Director of Community Development have determined the above-described screening wall is substantially complete in conformance with the fence permit issued by the City’s Community Development Department, applicable provisions of the Allen Land Development Code, and this Ordinance.
- J. **CUL-DE-SAC LENGTH:** The length of the cul-de-sac may exceed 600 feet as shown on the attached Concept Plan.
- K. **OPEN SPACE:** The amenitized detention areas shown on the attached Concept Plan shall qualify as the open space required by Section 4.08.17.5 of the ALDC.
- L. **GARAGE SETBACK:** The minimum garage setback for the lots identified on the attached Concept Plan shall be four feet (4’) behind the front yard building setback line.



Composition Shingle Roof

Stone

Brick



Composition Shingle Roof

Brick

Stone

PLANNING & ZONING COMMISSION AGENDA COMMUNICATION

AGENDA DATE: January 7, 2014

SUBJECT: Conduct a Public Hearing and consider a request to change the zoning of the property described as Cottonwood Business Park, an addition to the City of Allen, Collin County, Texas, generally located east of Jupiter Road and south of Park Place Drive, from Light Industrial “LI” zoning to a Planned Development for Single Family Residential “R-7” and adopt a Concept Plan, Development Regulations, and Building Elevations. (Z-10/14/13-70) [Cottonwood Crossing]

STAFF RESOURCE: Ogden “Bo” Bass, AICP
Director, Community Development Department

PREVIOUS COMMISSION/COUNCIL ACTION: Final Plat Approved – December, 1984
General Development Plan Approved – July, 2007

LEGAL NOTICES: Public Hearing Sign – Installed December 27, 2013
Public Hearing Notices – Mailed December 27, 2013

BACKGROUND

The property is located east of Jupiter Road and south of Park Place Drive. The property to the north is zoned General Business (GB). The properties to the east are zoned Planned Development (PD) No. 34 for Multi-family Residential (MF-12) use and Community Facilities (CF). The properties to the south are zoned Single-family Residential (R-2) and Planned Development No. 49 for Single-family Residential (R-7) use. The properties to the west (across Jupiter Road) are zoned Community Facilities (CF).

The property is currently zoned for Light Industrial (LI) uses and is surrounded by single-family and multi-family residential subdivisions, a day care, a church and a middle school. The applicant’s request is to change the zoning from LI to a Planned Development (PD) for a single-family residential development. The proposed base zoning for the PD is Single-family Residential (R-7). The attached Concept Plan shows 47 rear entry lots with a minimum lot size of 40’ x 100’. The plan also shows approximately 4.66± acres of floodplain (which will be dedicated to the City) and 0.2± acres of open space along Jupiter Road for periphery landscaping. The resulting net density for the development is 6.02 units/acre; which complies with the R-7 standard.

There are three (3) access points along Jupiter Road for the property. Street B is the main entrance/exit point for the development. Street A provides gated exit only and emergency access. Street C is reserved for emergency access only. Screening for the property will consist of an eight foot (8’) masonry wall along Jupiter Road and a portion of the northern property boundary and enhanced landscaping along Jupiter Road.

The minimum dwelling unit size is 1,800 square feet. The primary exterior building materials are 80% masonry (which exceeds the residential masonry standard) and consists of brick, siding and composition shingle roofing. Both the dwelling unit size and percentage of masonry material exceed the R-7 standards.

The applicant proposes that the target market for this development will be young couples and older active adult/empty nesters due to the floor plan designs, size of private open space on each lot and anticipated housing price points. This market element does not generally produce a large number of school aged children. In addition, the Future Land Use Plan forecasts this property converting from Light Industrial use to

Single-family Residential use. Therefore, it is not anticipated for the school district to be negatively impacted by this development.

The PD request has been reviewed by the Technical Review Committee.

STAFF RECOMMENDATION

Staff recommends approval.

MOTION

I make a motion to recommend approval of the request to change the zoning of the property known as Cottonwood Business Park, generally located east of Jupiter Road and south of Park Place Drive, for a and adopt a Concept Plan, Development Regulations and Building Elevations for Cottonwood Crossing.

ATTACHMENTS

Property Notification Map
Concept Plan
Development Regulations
Building Elevations/Lot Layout
Color Building Elevations



Property Ownership Notification

Cottonwood Crossing

Legend

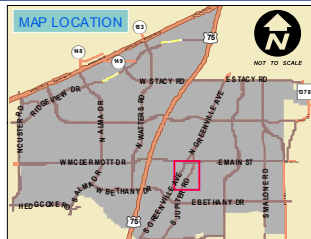
- Parcels within 200'
- City Limit
- CollinCAD Parcels



0 210 420
Feet

Community Development - GIS
Date Saved: 12/20/2013

NOTE: This map is only for illustration purpose only, please contact the City of Allen Planning & Development Department for specific rules and regulations.



APPLICANT
WYNNE/JACKSON, INC.
CONTACT: CHRISTOPHER JACKSON
600 NORTH PEARL STREET, SUITE 650, LB 149
DALLAS, TX 75206
(214) 880-8659

OWNER
INDEPENDENT BANK
CONTACT: KYLE WHITS, P.E.
1600 REDBUD BLVD., SUITE 202
MCKINNEY, TX 75069
(214) 282-0161

ENGINEER
PACHECO KOCH, LLC
CONTACT: KYLE WHITS, P.E.
8350 N. CENTRAL EXPRESSWAY, SUITE 1000
DALLAS, TX 75206
(972) 235-3031

- NOTES:
- FLOOD LIMITS SHOWN ARE BASED ON REC-HAS MODELS PREPARED BY THE CITY OF DALLAS.
 - SEWERAGE ALONG JUPITER WILL BE MAINTAINED BY THE HOA.
 - SEWERAGE ALONG JUPITER WILL BE MAINTAINED BY THE HOA.
 - REMOVED AND REPLACED EXISTING SIDEWALK WILL NEED TO BE REPLACED WITH A NEW SIDEWALK WITH A MINIMUM OF 72" HIGHER THAN THE EXISTING 100-YEAR FLOODPLAIN ELEVATION.
 - FINAL DRAINAGE AND SANITARY DESIGN THROUGH THE LARABEE TRACT.
 - EMERGENCY ACCESS SHALL BE IDENTIFIED WITH APPROPRIATE SIGNAGE AND STRIPS.
 - EMERGENCY ACCESS POINTS AND ASSOCIATED FEATURES SHALL BE IDENTIFIED WITH APPROPRIATE SIGNAGE AND STRIPS.
 - WITHIN LOT 1X, BLOCK C, THE HOA SANITARY SEWER SYSTEMS AND PAVING ASSOCIATED WITH THE OLD COTTONWOOD CIRCLE IMPROVEMENTS SHALL BE REMOVED PRIOR TO DEVELOPMENT. EXISTING STORM OUTFALL WILL BE MAINTAINED.
 - LOT 4X, BLOCK A, SHALL PROVIDE ACCESS FOR MAINTENANCE TO THE SIDEWALK AND COLUMNS SUPPORTED BY A GRAPE BEAM AND THE EXISTING SIDEWALK SHALL BE MAINTAINED.
 - CONTRACTOR REVIEW AND APPROVAL AT TIME OF CONSTRUCTION BY THE CITY OF DALLAS.
 12. GAS METERS SHALL BE PLACED AGAINST EACH DWELLING AND CON NOT BE PLACED AGAINST THE SIDEWALK.
 13. REAR FENCES TO BE THE SAME AS THE SIDE YARD.
 14. REAR FENCES TO BE THE SAME AS THE SIDE YARD.
 15. THE FOLLOWING LOTS ARE TO HAVE A 9' FRONT YARD SETBACK: 14.2, 14.3, 14.4, 14.5, 14.6, 14.7, 14.8, 14.9, 15.0, 15.1, 15.2, 15.3, 15.4, 15.5, 15.6, 15.7, 15.8, 15.9, 16.0, 16.1, 16.2, 16.3, 16.4, 16.5, 16.6, 16.7, 16.8, 16.9, 17.0, 17.1, 17.2, 17.3, 17.4, 17.5, 17.6, 17.7, 17.8, 17.9, 18.0, 18.1, 18.2, 18.3, 18.4, 18.5, 18.6, 18.7, 18.8, 18.9, 19.0, 19.1, 19.2, 19.3, 19.4, 19.5, 19.6, 19.7, 19.8, 19.9, 20.0, 20.1, 20.2, 20.3, 20.4, 20.5, 20.6, 20.7, 20.8, 20.9, 21.0, 21.1, 21.2, 21.3, 21.4, 21.5, 21.6, 21.7, 21.8, 21.9, 22.0, 22.1, 22.2, 22.3, 22.4, 22.5, 22.6, 22.7, 22.8, 22.9, 23.0, 23.1, 23.2, 23.3, 23.4, 23.5, 23.6, 23.7, 23.8, 23.9, 24.0, 24.1, 24.2, 24.3, 24.4, 24.5, 24.6, 24.7, 24.8, 24.9, 25.0, 25.1, 25.2, 25.3, 25.4, 25.5, 25.6, 25.7, 25.8, 25.9, 26.0, 26.1, 26.2, 26.3, 26.4, 26.5, 26.6, 26.7, 26.8, 26.9, 27.0, 27.1, 27.2, 27.3, 27.4, 27.5, 27.6, 27.7, 27.8, 27.9, 28.0, 28.1, 28.2, 28.3, 28.4, 28.5, 28.6, 28.7, 28.8, 28.9, 29.0, 29.1, 29.2, 29.3, 29.4, 29.5, 29.6, 29.7, 29.8, 29.9, 30.0, 30.1, 30.2, 30.3, 30.4, 30.5, 30.6, 30.7, 30.8, 30.9, 31.0, 31.1, 31.2, 31.3, 31.4, 31.5, 31.6, 31.7, 31.8, 31.9, 32.0, 32.1, 32.2, 32.3, 32.4, 32.5, 32.6, 32.7, 32.8, 32.9, 33.0, 33.1, 33.2, 33.3, 33.4, 33.5, 33.6, 33.7, 33.8, 33.9, 34.0, 34.1, 34.2, 34.3, 34.4, 34.5, 34.6, 34.7, 34.8, 34.9, 35.0, 35.1, 35.2, 35.3, 35.4, 35.5, 35.6, 35.7, 35.8, 35.9, 36.0, 36.1, 36.2, 36.3, 36.4, 36.5, 36.6, 36.7, 36.8, 36.9, 37.0, 37.1, 37.2, 37.3, 37.4, 37.5, 37.6, 37.7, 37.8, 37.9, 38.0, 38.1, 38.2, 38.3, 38.4, 38.5, 38.6, 38.7, 38.8, 38.9, 39.0, 39.1, 39.2, 39.3, 39.4, 39.5, 39.6, 39.7, 39.8, 39.9, 40.0, 40.1, 40.2, 40.3, 40.4, 40.5, 40.6, 40.7, 40.8, 40.9, 41.0, 41.1, 41.2, 41.3, 41.4, 41.5, 41.6, 41.7, 41.8, 41.9, 42.0, 42.1, 42.2, 42.3, 42.4, 42.5, 42.6, 42.7, 42.8, 42.9, 43.0, 43.1, 43.2, 43.3, 43.4, 43.5, 43.6, 43.7, 43.8, 43.9, 44.0, 44.1, 44.2, 44.3, 44.4, 44.5, 44.6, 44.7, 44.8, 44.9, 45.0, 45.1, 45.2, 45.3, 45.4, 45.5, 45.6, 45.7, 45.8, 45.9, 46.0, 46.1, 46.2, 46.3, 46.4, 46.5, 46.6, 46.7, 46.8, 46.9, 47.0, 47.1, 47.2, 47.3, 47.4, 47.5, 47.6, 47.7, 47.8, 47.9, 48.0, 48.1, 48.2, 48.3, 48.4, 48.5, 48.6, 48.7, 48.8, 48.9, 49.0, 49.1, 49.2, 49.3, 49.4, 49.5, 49.6, 49.7, 49.8, 49.9, 50.0, 50.1, 50.2, 50.3, 50.4, 50.5, 50.6, 50.7, 50.8, 50.9, 51.0, 51.1, 51.2, 51.3, 51.4, 51.5, 51.6, 51.7, 51.8, 51.9, 52.0, 52.1, 52.2, 52.3, 52.4, 52.5, 52.6, 52.7, 52.8, 52.9, 53.0, 53.1, 53.2, 53.3, 53.4, 53.5, 53.6, 53.7, 53.8, 53.9, 54.0, 54.1, 54.2, 54.3, 54.4, 54.5, 54.6, 54.7, 54.8, 54.9, 55.0, 55.1, 55.2, 55.3, 55.4, 55.5, 55.6, 55.7, 55.8, 55.9, 56.0, 56.1, 56.2, 56.3, 56.4, 56.5, 56.6, 56.7, 56.8, 56.9, 57.0, 57.1, 57.2, 57.3, 57.4, 57.5, 57.6, 57.7, 57.8, 57.9, 58.0, 58.1, 58.2, 58.3, 58.4, 58.5, 58.6, 58.7, 58.8, 58.9, 59.0, 59.1, 59.2, 59.3, 59.4, 59.5, 59.6, 59.7, 59.8, 59.9, 60.0, 60.1, 60.2, 60.3, 60.4, 60.5, 60.6, 60.7, 60.8, 60.9, 61.0, 61.1, 61.2, 61.3, 61.4, 61.5, 61.6, 61.7, 61.8, 61.9, 62.0, 62.1, 62.2, 62.3, 62.4, 62.5, 62.6, 62.7, 62.8, 62.9, 63.0, 63.1, 63.2, 63.3, 63.4, 63.5, 63.6, 63.7, 63.8, 63.9, 64.0, 64.1, 64.2, 64.3, 64.4, 64.5, 64.6, 64.7, 64.8, 64.9, 65.0, 65.1, 65.2, 65.3, 65.4, 65.5, 65.6, 65.7, 65.8, 65.9, 66.0, 66.1, 66.2, 66.3, 66.4, 66.5, 66.6, 66.7, 66.8, 66.9, 67.0, 67.1, 67.2, 67.3, 67.4, 67.5, 67.6, 67.7, 67.8, 67.9, 68.0, 68.1, 68.2, 68.3, 68.4, 68.5, 68.6, 68.7, 68.8, 68.9, 69.0, 69.1, 69.2, 69.3, 69.4, 69.5, 69.6, 69.7, 69.8, 69.9, 70.0, 70.1, 70.2, 70.3, 70.4, 70.5, 70.6, 70.7, 70.8, 70.9, 71.0, 71.1, 71.2, 71.3, 71.4, 71.5, 71.6, 71.7, 71.8, 71.9, 72.0, 72.1, 72.2, 72.3, 72.4, 72.5, 72.6, 72.7, 72.8, 72.9, 73.0, 73.1, 73.2, 73.3, 73.4, 73.5, 73.6, 73.7, 73.8, 73.9, 74.0, 74.1, 74.2, 74.3, 74.4, 74.5, 74.6, 74.7, 74.8, 74.9, 75.0, 75.1, 75.2, 75.3, 75.4, 75.5, 75.6, 75.7, 75.8, 75.9, 76.0, 76.1, 76.2, 76.3, 76.4, 76.5, 76.6, 76.7, 76.8, 76.9, 77.0, 77.1, 77.2, 77.3, 77.4, 77.5, 77.6, 77.7, 77.8, 77.9, 78.0, 78.1, 78.2, 78.3, 78.4, 78.5, 78.6, 78.7, 78.8, 78.9, 79.0, 79.1, 79.2, 79.3, 79.4, 79.5, 79.6, 79.7, 79.8, 79.9, 80.0, 80.1, 80.2, 80.3, 80.4, 80.5, 80.6, 80.7, 80.8, 80.9, 81.0, 81.1, 81.2, 81.3, 81.4, 81.5, 81.6, 81.7, 81.8, 81.9, 82.0, 82.1, 82.2, 82.3, 82.4, 82.5, 82.6, 82.7, 82.8, 82.9, 83.0, 83.1, 83.2, 83.3, 83.4, 83.5, 83.6, 83.7, 83.8, 83.9, 84.0, 84.1, 84.2, 84.3, 84.4, 84.5, 84.6, 84.7, 84.8, 84.9, 85.0, 85.1, 85.2, 85.3, 85.4, 85.5, 85.6, 85.7, 85.8, 85.9, 86.0, 86.1, 86.2, 86.3, 86.4, 86.5, 86.6, 86.7, 86.8, 86.9, 87.0, 87.1, 87.2, 87.3, 87.4, 87.5, 87.6, 87.7, 87.8, 87.9, 88.0, 88.1, 88.2, 88.3, 88.4, 88.5, 88.6, 88.7, 88.8, 88.9, 89.0, 89.1, 89.2, 89.3, 89.4, 89.5, 89.6, 89.7, 89.8, 89.9, 90.0, 90.1, 90.2, 90.3, 90.4, 90.5, 90.6, 90.7, 90.8, 90.9, 91.0, 91.1, 91.2, 91.3, 91.4, 91.5, 91.6, 91.7, 91.8, 91.9, 92.0, 92.1, 92.2, 92.3, 92.4, 92.5, 92.6, 92.7, 92.8, 92.9, 93.0, 93.1, 93.2, 93.3, 93.4, 93.5, 93.6, 93.7, 93.8, 93.9, 94.0, 94.1, 94.2, 94.3, 94.4, 94.5, 94.6, 94.7, 94.8, 94.9, 95.0, 95.1, 95.2, 95.3, 95.4, 95.5, 95.6, 95.7, 95.8, 95.9, 96.0, 96.1, 96.2, 96.3, 96.4, 96.5, 96.6, 96.7, 96.8, 96.9, 97.0, 97.1, 97.2, 97.3, 97.4, 97.5, 97.6, 97.7, 97.8, 97.9, 98.0, 98.1, 98.2, 98.3, 98.4, 98.5, 98.6, 98.7, 98.8, 98.9, 99.0, 99.1, 99.2, 99.3, 99.4, 99.5, 99.6, 99.7, 99.8, 99.9, 100.0, 100.1, 100.2, 100.3, 100.4, 100.5, 100.6, 100.7, 100.8, 100.9, 101.0, 101.1, 101.2, 101.3, 101.4, 101.5, 101.6, 101.7, 101.8, 101.9, 102.0, 102.1, 102.2, 102.3, 102.4, 102.5, 102.6, 102.7, 102.8, 102.9, 103.0, 103.1, 103.2, 103.3, 103.4, 103.5, 103.6, 103.7, 103.8, 103.9, 104.0, 104.1, 104.2, 104.3, 104.4, 104.5, 104.6, 104.7, 104.8, 104.9, 105.0, 105.1, 105.2, 105.3, 105.4, 105.5, 105.6, 105.7, 105.8, 105.9, 106.0, 106.1, 106.2, 106.3, 106.4, 106.5, 106.6, 106.7, 106.8, 106.9, 107.0, 107.1, 107.2, 107.3, 107.4, 107.5, 107.6, 107.7, 107.8, 107.9, 108.0, 108.1, 108.2, 108.3, 108.4, 108.5, 108.6, 108.7, 108.8, 108.9, 109.0, 109.1, 109.2, 109.3, 109.4, 109.5, 109.6, 109.7, 109.8, 109.9, 110.0, 110.1, 110.2, 110.3, 110.4, 110.5, 110.6, 110.7, 110.8, 110.9, 111.0, 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125.4, 125.5, 125.6, 125.7, 125.8, 125.9, 126.0, 126.1, 126.2, 126.3, 126.4, 126.5, 126.6, 126.7, 126.8, 126.9, 127.0, 127.1, 127.2, 127.3, 127.4, 127.5, 127.6, 127.7, 127.8, 127.9, 128.0, 128.1, 128.2, 128.3, 128.4, 128.5, 128.6, 128.7, 128.8, 128.9, 129.0, 129.1, 129.2, 129.3, 129.4, 129.5, 129.6, 129.7, 129.8, 129.9, 130.0, 130.1, 130.2, 130.3, 130.4, 130.5, 130.6, 130.7, 130.8, 130.9, 131.0, 131.1, 131.2, 131.3, 131.4, 131.5, 131.6, 131.7, 131.8, 131.9, 132.0, 132.1, 132.2, 132.3, 132.4, 132.5, 132.6, 132.7, 132.8, 132.9, 133.0, 133.1, 133.2, 133.3, 133.4, 133.5, 133.6, 133.7, 133.8, 133.9, 134.0, 134.1, 134.2, 134.3, 134.4, 134.5, 134.6, 134.7, 134.8, 134.9, 135.0, 135.1, 135.2, 135.3, 135.4, 135.5, 135.6, 135.7, 135.8, 135.9, 136.0, 136.1, 136.2, 136.3, 136.4, 136.5, 136.6, 136.7, 136.8, 136.9, 137.0, 137.1, 137.2, 137.3, 137.4, 137.5, 137.6, 137.7, 137.8, 137.9, 138.0, 138.1, 138.2, 138.3, 138.4, 138.5, 138.6, 138.7, 138.8, 138.9, 139.0, 139.1, 139.2, 139.3, 139.4, 139.5, 139.6, 139.7, 139.8, 139.9, 140.0, 140.1, 140.2, 140.3, 140.4, 140.5, 140.6, 140.7, 140.8, 140.9, 141.0, 141.1, 141.2, 141.3, 141.4, 141.5, 141.6, 141.7, 141.8, 141.9, 142.0, 142.1, 142.2, 142.3, 142.4, 142.5, 142.6, 142.7, 142.8, 142.9, 143.0, 143.1, 143.2, 143.3, 143.4, 143.5, 143.6, 143.7, 143.8, 143.9, 144.0, 144.1, 144.2, 144.3, 144.4, 144.5, 144.6, 144.7, 144.8, 144.9, 145.0, 145.1, 145.2, 145.3, 145.4, 145.5, 145.6, 145.7, 145.8, 145.9, 146.0, 146.1, 146.2, 146.3, 146.4, 146.5, 146.6, 146.7, 146.8, 146.9, 147.0, 147.1, 147.2, 147.3, 147.4, 147.5, 147.6, 147.7, 147.8, 147.9, 148.0, 148.1, 148.2, 148.3, 148.4, 148.5, 148.6, 148.7, 148.8, 148.9, 149.0, 149.1, 149.2, 149.3, 149.4, 149.5, 149.6, 149.7, 149.8, 149.9, 150.0, 150.1, 150.2, 150.3, 150.4, 150.5, 150.6, 150.7, 150.8, 150.9, 151.0, 151.1, 151.2, 151.3, 151.4, 151.5, 151.6, 151.7, 151.8, 151.9, 152.0, 152.1, 152.2, 152.3, 152.4, 152.5, 152.6, 152.7, 152.8, 152.9, 153.0, 153.1, 153.2, 153.3, 153.4, 153.5, 153.6, 153.7, 153.8, 153.9, 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168.3, 168.4, 168.5, 168.6, 168.7, 168.8, 168.9, 169.0, 169.1, 169.2, 169.3, 169.4, 169.5, 169.6, 169.7, 169.8, 169.9, 170.0, 170.1, 170.2, 170.3, 170.4, 170.5, 170.6, 170.7, 170.8, 170.9, 171.0, 171.1, 171.2, 171.3, 171.4, 171.5, 171.6, 171.7, 171.8, 171.9, 172.0, 172.1, 172.2, 172.3, 172.4, 172.5, 172.6, 172.7, 172.8, 172.9, 173.0, 173.1, 173.2, 173.3, 173.4, 173.5, 173.6, 173.7, 173.8, 173.9, 174.0, 174.1, 174.2, 174.3, 174.4, 174.5, 174.6, 174.7, 174.8, 174.9, 175.0, 175.1, 175.2, 175.3, 175.4, 175.5, 175.6, 175.7, 175.8, 175.9, 176.0, 176.1, 176.2, 176.3, 176.4, 176.5, 176.6, 176.7, 176.8, 176.9, 177.0, 177.1, 177.2, 177.3, 177.4, 177.5, 177.6, 177.7, 177.8, 177.9, 178.0, 178.1, 178.2, 178.3, 178.4, 178.5, 178.6, 178.7, 178.8, 178.9, 179.0, 179.1, 179.2, 179.3, 179.4, 179.5, 179.6, 179.7, 179.8, 179.9, 180.0, 180.1, 180.2, 180.3, 180.4, 180.5, 180.6, 180.7, 180.8, 180.9, 181.0, 181.1, 181.2, 181.3, 181.4, 181.5, 181.6, 181.7, 181.8, 181.9, 182.0, 182.1, 182.2, 182.3, 182.4, 182.5, 182.6, 182.7, 182.8, 182.9, 183.0, 183.1, 183.2, 183.3, 183.4, 183.5, 183.6, 183.7, 183.8, 183.9, 184.0, 184.1, 184.2, 184.3, 184.4, 184.5, 184.6, 184.7, 184.8, 184.9, 185.0, 185.1, 185.2, 185.3, 185.4, 185.5, 185.6, 185.7, 185.8, 185.9, 186.0, 186.1, 186.2, 186.3, 186.4, 186.5, 186.6, 186.7, 186.8, 186.9, 187.0, 187.1, 187.2, 187.3, 187.4, 187.5, 187.6, 187.7, 187.8, 187.9, 188.0, 188.1, 188.2, 188.3, 188.4, 188.5, 188.6, 188.7, 188.8, 188.9, 189.0, 189.1, 189.2, 189.3, 189.4, 189.5, 189.6, 189.7, 189.8, 189.9, 190.0, 190.1, 190.2, 190.3, 190.4, 190.5, 190.6, 190.7, 190.8, 190.9, 191.0, 191.1, 191.2, 191.3, 191.4, 191.5, 191.6, 191.7, 191.8, 191.9, 192.0, 192.1, 192.2, 1

DRAFT DEVELOPMENT REGULATIONS PROPOSED
FOR COTTONWOOD CROSSING

- A. **BASE ZONING DISTRICT:** The Property shall be developed and used only in accordance with the development regulations of the Single-family Residential “R-7” zoning regulations of the Allen Land Development Code (“ALDC”) except as otherwise provided herein.
- B. **CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit ____ and incorporated herein by reference. Minor modifications to streets that do not alter the general alignment shown on the Concept Plan may be made at the time of Site Plan approval.
- C. **BUILDING ELEVATIONS:** The Property shall be developed in general conformance with the Building Elevations attached hereto as Exhibit ____ and incorporated herein by reference.
- D. **FRONT YARD SETBACK:** The front yard building setback shall be nine feet (9’) from the front property line for the lots shown on the attached Concept Plan. All other lots shall have a front yard building setback of ten feet (10’).
- E. **SIDE YARD SETBACK:** The minimum side yard building setback shall be three feet (3’) on one side yard and seven feet (7’) on the other side yard.
- F. **REAR YARD SETBACK:** The minimum rear yard building setback shall be six feet (6’) from the rear property line.
- G. **LOT AREA:** The minimum lot area shall be 4,000 square feet.
- H. **LOT WIDTH:** The minimum lot width shall be forty feet (40’).
- I. **LOT DEPTH:** The minimum lot depth shall be one hundred feet (100’).
- J. **DWELLING UNIT SIZE:** The minimum dwelling unit size shall be 1,800 square feet.
- K. **EXTERIOR BUILDING MATERIALS:** The exterior building materials shall be not less than 80% masonry.
- L. **PERCENT LOT COVERAGE:** The maximum percent lot coverage shall be 70%.
- M. **FENCES:** Fences shall be located a minimum of ten feet (10’) behind the side property line on lots with a side yard located across the street from a front yard. Fences located on the rear of the lot shall be placed a minimum of six feet (6’) behind the rear property line of the lot.
- N. **FLOODPLAIN:** The floodplain shall be modified as shown on the attached Concept Plan and hydraulic study prepared by Nathan D. Maiers Engineering dated ____, a copy of which is on file in the Office of the Director of Engineering. A FEMA approved Conditional Letter of Map Revision shall be submitted and a floodplain permit must be issued by the City of Allen prior to the issuance of any development permit for the Property. A FEMA approved Conditional Letter of Map Revision shall be submitted prior to the issuance of any building permits for lots encumbered by the floodplain. Elevation certificates shall be required for lots encroached upon by the regulatory floodplain to demonstrate FF 2-ft above WSEL. The floodplain areas located within the Property shall be maintained by the established homeowners association.

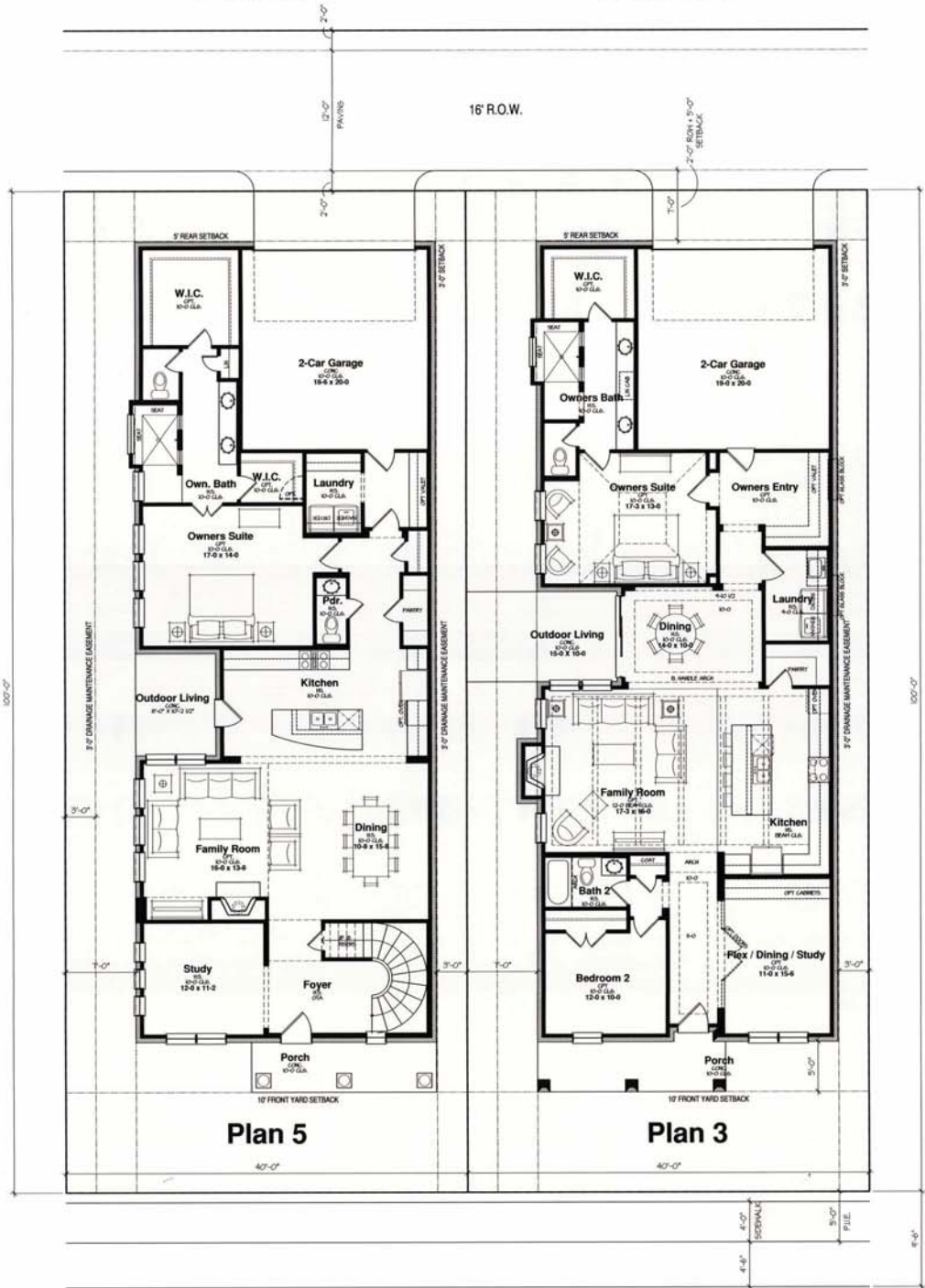
Cottonwood Crossing Development Regulations

- O. SIDEWALK:** A four foot (4') wide sidewalk shall not be required along the side of a street where a hike and bike trail is present, as shown on the attached Concept Plan.
- P. DRIVEWAYS:** Driveways shall either be six feet (6') or twenty feet (20') in length.
- Q. PORCH ENCROACHMENT:** The front porch of the homes on lots identified with a star, as shown on the attached Concept Plan, shall be allowed to encroach five feet (5') within the front yard building setback.
- R. LANDSCAPING:** The landscaping along Jupiter Road shall be enhanced. Trees shall be planted thirty feet (30') apart on center.



Traditional

Traditional



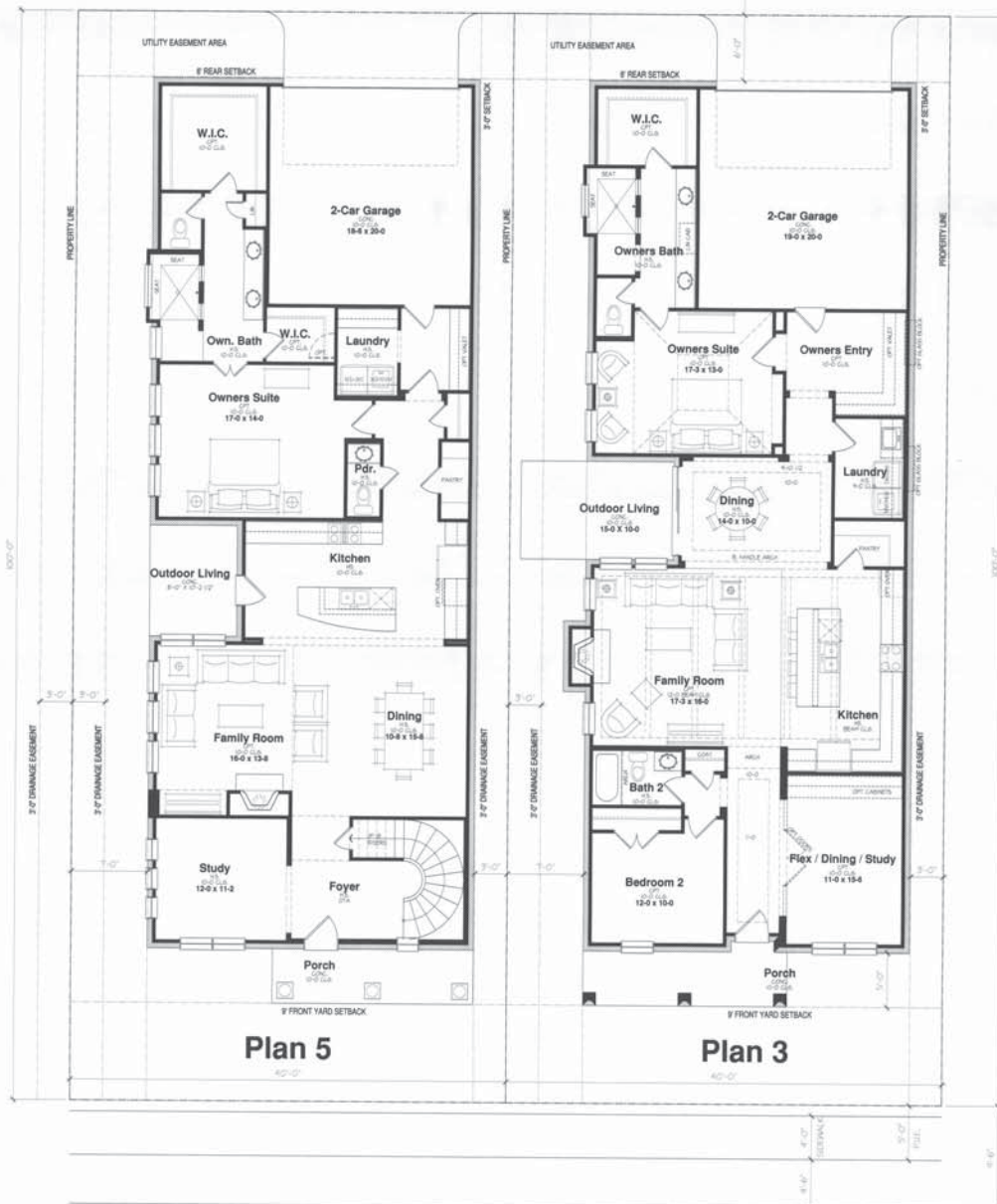
LOT 6, BLOCK D SHALL HAVE A DWELLING UNIT SIZE LESS THAN 1,800 SQ. FT.



Traditional

Traditional

ALLEY - 16' R.O.W.



Plan 5

Plan 3

Concept B
Scale: 1/4" = 1'-0"

LOT 6, BLOCK D SHALL HAVE A
DWELLING UNIT SIZE LESS THAN 1,800
SQ. FT.





Traditional

Traditional

PLANNING & ZONING COMMISSION	AGENDA COMMUNICATION
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AGENDA DATE: January 7, 2014

SUBJECT: Conduct a Public Hearing and consider a request to change the zoning of a 3.755± acre portion of Lot 59, Block 11, Walden Park Estates Addition, City of Allen, Collin County, Texas; generally located east of Greenville Avenue and south of High Meadow Drive from Local Retail “LR” zoning to a Planned Development with a base zoning of Community Facilities “CF”, for an Assisted Living/Memory Care use and adopt a Concept Plan, Development Regulations, and Building Elevations. (Z-11/11/13-79) [Avalon Homes]

STAFF RESOURCE: Ogden “Bo” Bass, AICP
Director, Community Development Department

PREVIOUS COMMISSION/COUNCIL ACTION: Final Plat approved – October, 1972

LEGAL NOTICES: Public Hearing Sign – Installed December 27, 2013
Public Hearing Notices – Mailed December 27, 2013

BACKGROUND

The property is located at the southeast corner of Greenville Avenue and High Meadow Drive. The property to the north (across High Meadow Drive) is zoned for Single Family Residential (R-5) use. The property to the east and south is zoned for Single Family Residential (R-5) use. The properties to the west (across Greenville Avenue) is zoned Planned Development No. 14 for Office (O) use and for Planned Development No. 58 for Community Facilities (CF) use.

The property is currently zoned Local Retail (LR). The applicant is requesting to change the zoning from LR to a Planned Development (PD) for an assisted living facility that specializes in memory care. The proposed base zoning for the PD is Community Facilities (CF). The attached Concept Plan shows the property divided into two lots. There will be three (3) one-story 12,500 square foot buildings built on the property in three (3) phases. Each building will contain sixteen (16) bedrooms and thirty (30) beds, for a total of 48 bedroom units and 90 beds within the development.

There are four (4) access points for the development. The primary access points are located on Greenville Avenue and High Meadow Drive. There are two gated emergency access points provided on the east side of the property. The proposed screening for the property is an eight foot (8') wrought iron fence with masonry columns along the southern, eastern and portion of the northern property lines. Drainage will be managed through two (2) amenitized detention ponds on the western end of the property.

The *Allen Land Development Code (ALDC)* parking ratio for an assisted living facility is 1 space per dwelling unit. This equates to a minimum of 48 parking spaces required for this development. The applicant is proposing to provide a total of forty (40) spaces. Since the development will primarily serve memory care patients, staff believes the parking provided is adequate for employees and guests. Therefore, staff supports the requested reduction in parking.

The attached Building Elevations are designed to be compatible with the surrounding residential subdivision and show the primary building materials as brick and stone with composition shingle roofing.

The PD request has been reviewed by the Technical Review Committee

STAFF RECOMMENDATION

Staff recommends approval.

MOTION

I make a motion to recommend approval of the request to create a Planned Development for a 3.755± acre portion of property known as Lot 59, Block 11, Walden Park Estates, located east of Greenville Avenue and south of High Meadow Drive, for an Assisted Living/Memory Care use and adopt a Concept Plan, Development Regulations and Building Elevations for Avalon Homes.

ATTACHMENTS

Property Notification Map
Concept Plan
Development Regulations
Building Elevations

ALLEN, COLLIN COUNTY, TEXAS

Soil engineering, LLC.
 1 ALPHA ROAD, SUITE 300 DALLAS, TEXAS 75240
 972.701.9636 • 972.701.9639 FAX
 TX REGISTERED ENGINEERING FIRM F-12600
www.hbpcivileng.com

SHEET NO. _____

1



ENGINEER
PHD Engineering, LLC
5339 ALPHA ROAD, STE 300
DALLAS, TEXAS 75240
972.701.9638 PH
972.701.9639 FAX

OWNER
HIGH MEADOW DEVELOPMENT, LTD.
6000 N. MEANDERING WAY
FAIRMEE, TX 75069
214.208.5498
JIM FOLIARD, PRESIDENT

APPLICANT DEVELOPER
THREE WILLOWS LAND DEVELOPMENT, LLC
1625 N. STEMMONS FREEWAY
DALLAS, TEXAS 75207
972.814.1141 PH
DAVID KRUKIEL

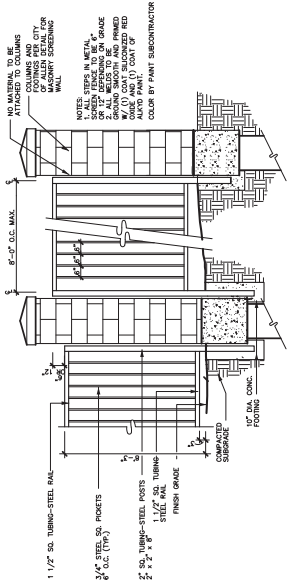
LEGAL DESCRIPTION:

BEING SITUATED IN THE LEWIS WETZEL SURVEY, ABSTRACT 100, COUNTY OF WYOMING, STATE OF WYOMING, BEING ALL OF LOT 59, BLOCK 11, WALDEN PARK ESTATES, AN ADDITION TO THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF, BEING SHARVED INTO TWO LOTS, LOT 1, BEING ALL OF THAT CALLED, COLLIN COUNTY, TEXAS, AND BEING ALL OF THAT CALLED, 37550 ACRE TRACT OF LAND.

CITY OF ALLEN, COLLIN COUNTY, TEXAS

January 1, 2014

SECTION 36, TOWNSHIP 5 NORTH, RANGE 12 EAST, COUNTY OF WYOMING, BEING SHARVED INTO TWO LOTS, LOT 1 AT 2.50 ACRES, AND LOT 2 AT 1.20 ACRES ON ONE BLOCK.

[illegible]

A — WROUGHT IRON FENCE
N.T.S.

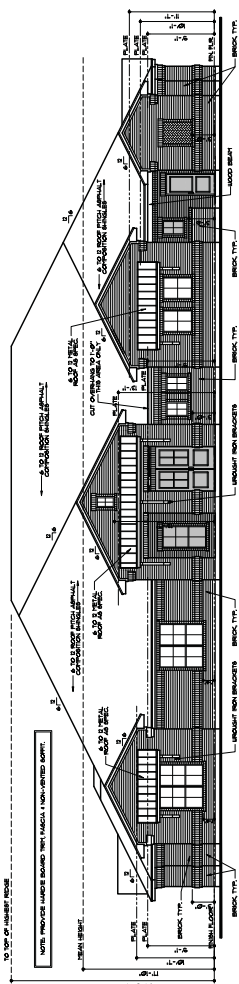
DRAFT OF PROPOSED DEVELOPMENT REGULATIONS
FOR AVALON HOMES-ALLEN

- A. **BASE ZONING DISTRICT:** The Property shall be developed and used only in accordance with the development regulations of the Community Facilities “CF” zoning regulations of the Allen Land Development Code (“ALDC”), except as otherwise provided herein.
- B. **PERMITTED USES.** Notwithstanding Section 4.20.2 of the ALDC, as amended, the Property shall be developed and used only for an Assisted Living Facility.
- C. **CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit __, and incorporated herein by reference. Minor modifications to streets that do not alter the general alignment shown on the Concept Plan may be made at the time of Site Plan approval.
- D. **BUILDING ELEVATIONS:** The Property shall be developed in general conformance with the Building Elevations attached hereto as Exhibit __, attached hereto and incorporated herein by reference.
- E. **STREET IMPROVEMENTS:** No certificate of occupancy shall be issued for any building constructed on the Property until segment of High Meadow Drive between Greenville Avenue to Green Valley Lane highlighted on the attached Concept Plan has been reconstructed to replace the existing asphalt pavement with concrete pavement and accepted by City’s Director of Engineering or designee for the City.
- F. **SCREENING:** The screening for the Property shall consist of an eight foot (8’) wrought iron fence with masonry columns and located as shown on the Concept Plan. No certificate of occupancy shall be issued for any building constructed on the Property until the City’s Building Official and Director of Community Development have determined the screening fence described in the Paragraph F is substantially complete in conformance with the fence permit issued by the City’s Community Development Department, applicable provisions of the Allen Land Development Code, and this Ordinance.
- G. **PARKING:** The parking ratio for the minimum required number of parking spaces shall be 0.83 spaces per dwelling unit.

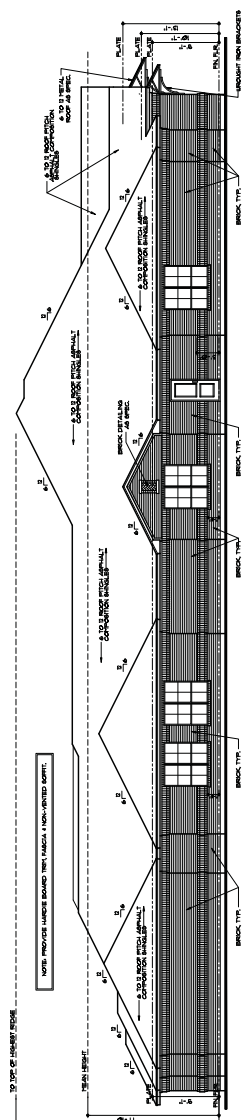
REVISION	DATE	CHG

DEVELOPER
Wood-Storval
Development, LLC
1025 N. Starline
Denton, TX 76209
(972) 814-1411
DAVID KRUMEL

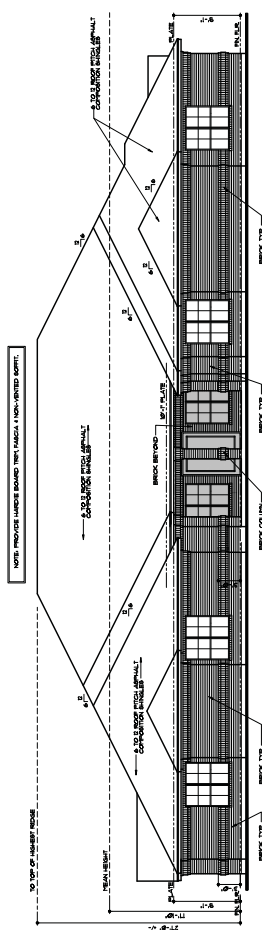
ARCHITECT
Wood-Storval
Lynn P.
1025 N. Starline
Denton, TX 76209
(972) 814-1411
GARY WOOD, P.A.



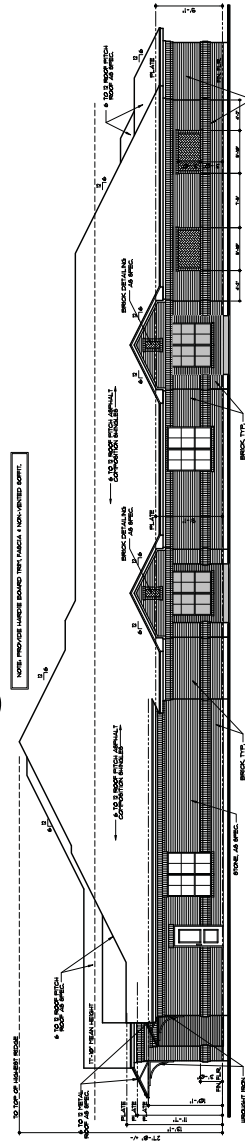
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SCALE: 1/8" = 1'-0"



2 LEFT / NORTH SIDE ELEVATION - BLDG. 1
SCALE: 1/8" = 1'-0"



3 REAR / EAST ELEVATION - BLDG. 1
SCALE: 1/8" = 1'-0"

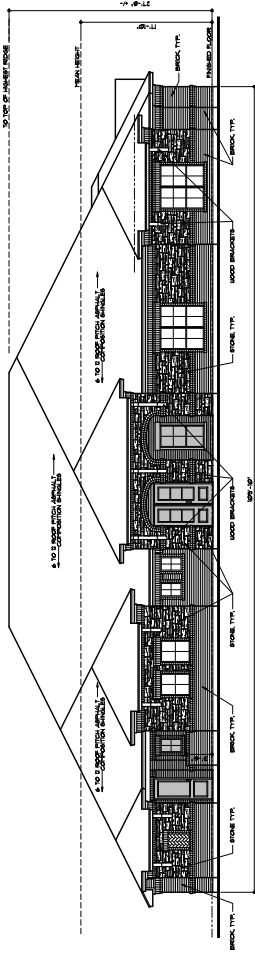


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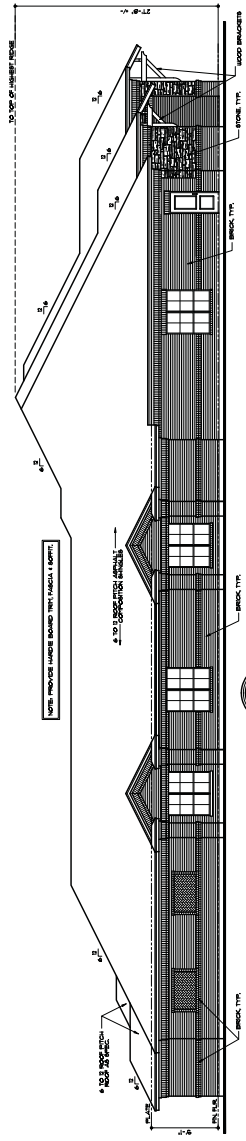
REVISION	DATE	COMMENTS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DEVELOPER
Wood-Storval
Development, LLC
2125 N. Stemmons
Frisco, TX 75034
(972) 814-1141
DAVID KRUMEL

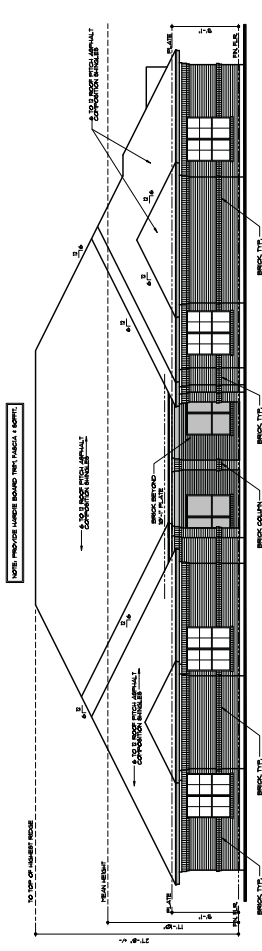
ARCHITECT
Wood-Storval
Lynn P.
Frost, AIA
(817) 548-8714 PH/
GARY WOOD, P.A.



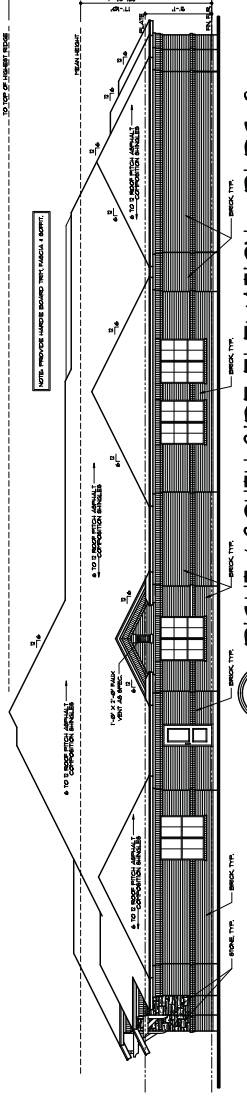
1 FRONT / WEST ELEVATION - BLDG. 2
SCALE: 1/8" = 1'-0"



2 LEFT / NORTH SIDE ELEVATION - BLDG. 2
SCALE: 1/8" = 1'-0"



3 REAR / EAST ELEVATION - BLDG. 2
SCALE: 1/8" = 1'-0"

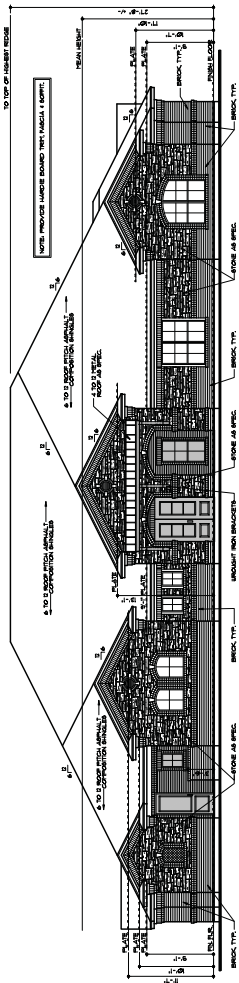


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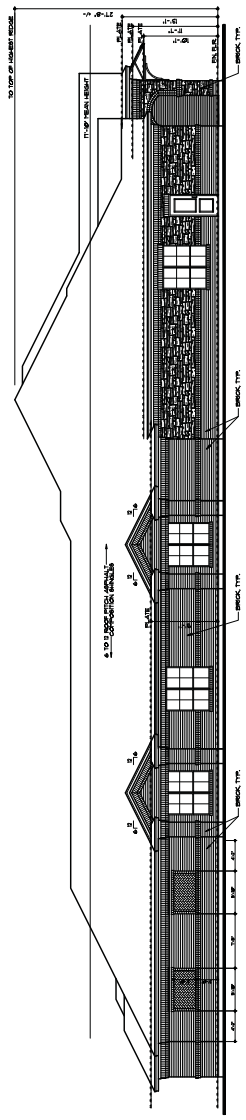
REVISION	DATE	COMMENTS

DEVELOPER
Wood-Steel
Development, LLC
1025 N. Stemmons
Frisco, TX 75034
(972) 814-1141
DAVID KRUMEL

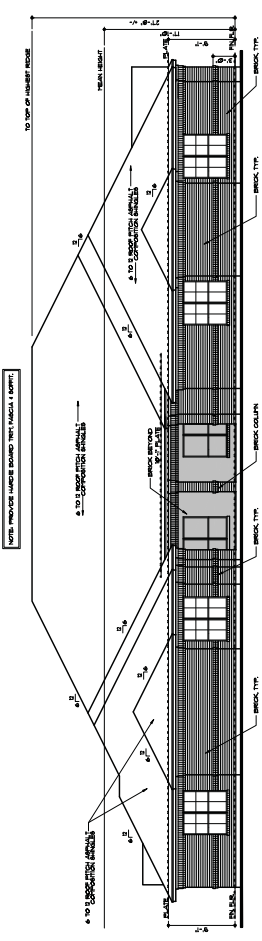
ARCHITECT
Wood-Steel
Wood-Steel
Frisco, TX 75034
(972) 814-1141
GARY WOOD, P.A.



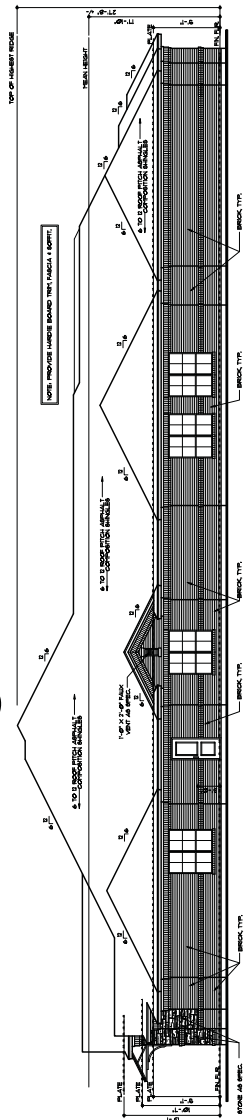
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2 LEFT / NORTH SIDE ELEVATION - BLDG. 3
SCALE: 1/8" = 1'-0"



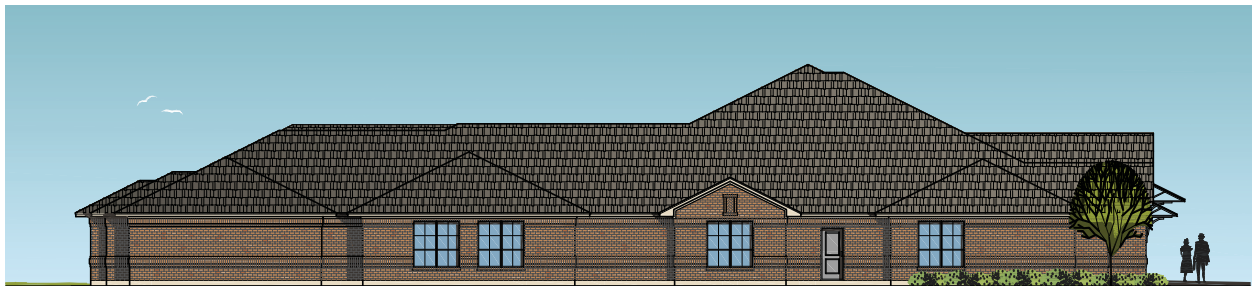
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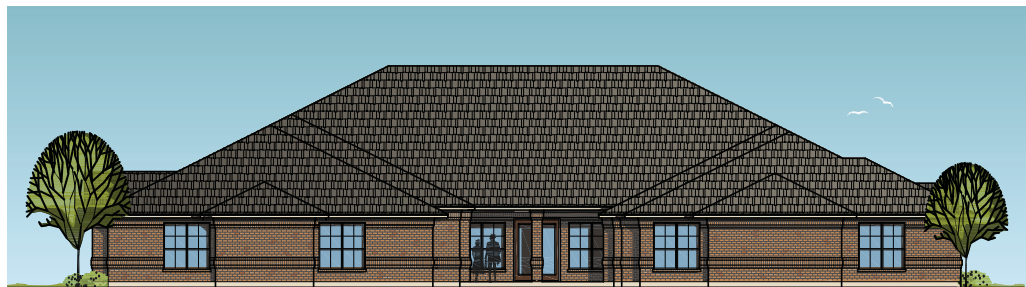
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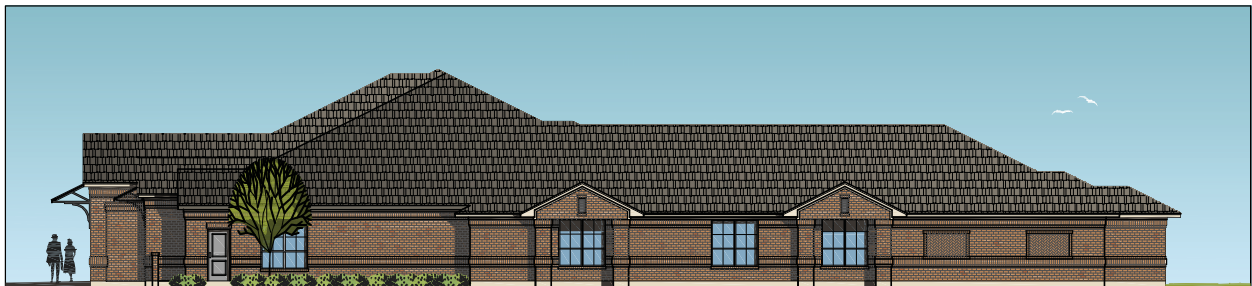
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ALLEN, TEXAS FRONT / WEST ELEVATION



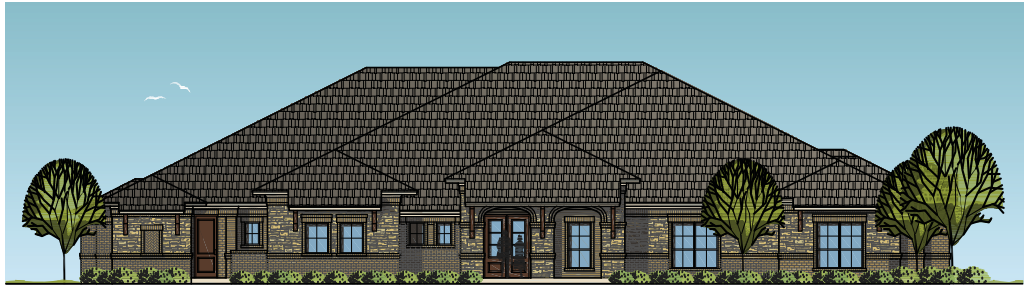
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ALLEN, TEXAS LEFT / NORTH SIDE ELEVATION



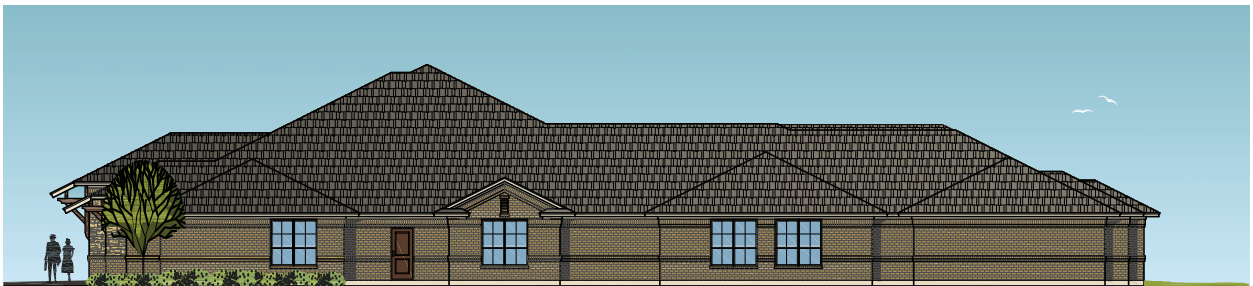
ASSISTED LIVING FACILITY - BUILDING 1
ALLEN, TEXAS REAR / EAST ELEVATION



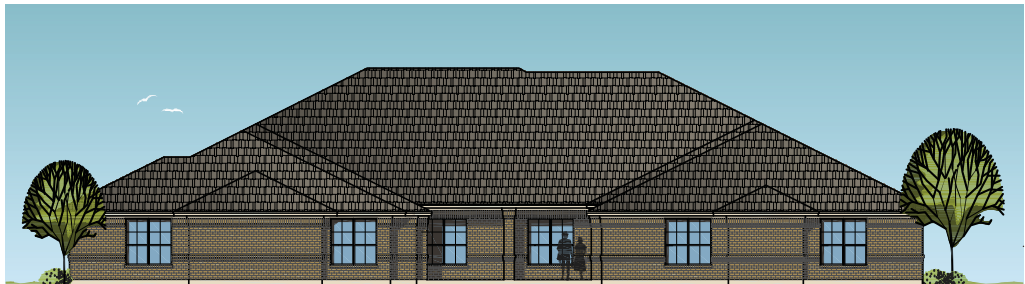
ASSISTED LIVING FACILITY - BUILDING 1
ALLEN, TEXAS RIGHT / SOUTH SIDE ELEVATION



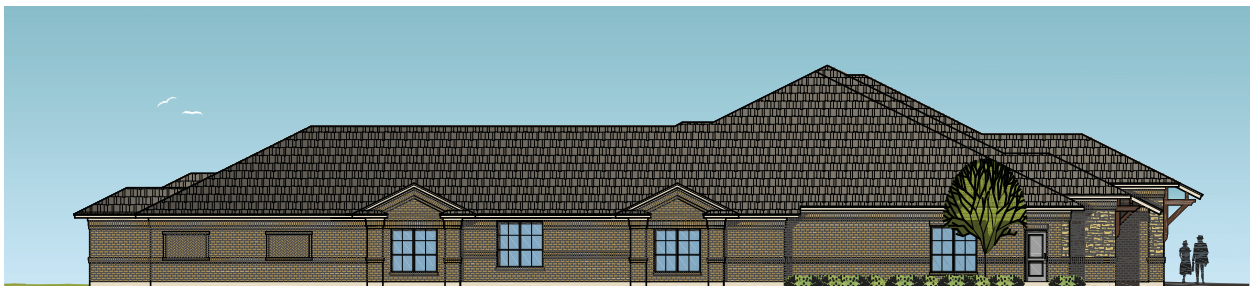
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ALLEN, TEXAS FRONT / WEST ELEVATION



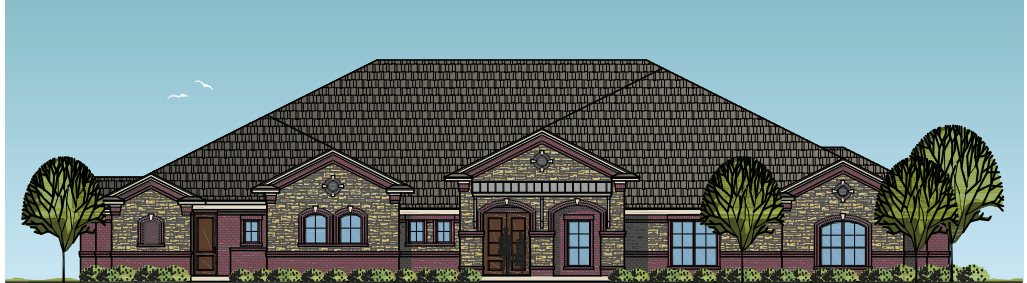
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ALLEN, TEXAS RIGHT / SOUTH SIDE ELEVATION



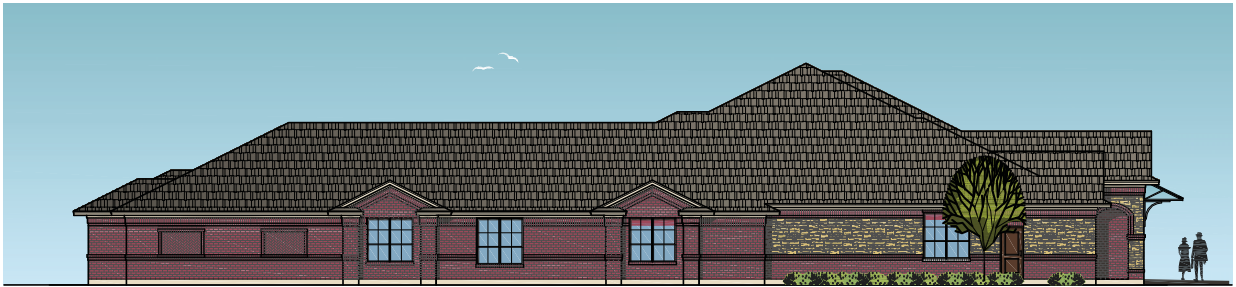
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ALLEN, TEXAS REAR / EAST ELEVATION



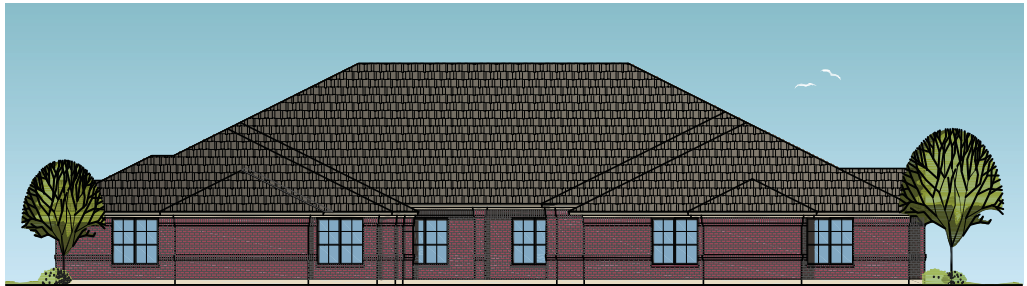
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ALLEN, TEXAS LEFT / NORTH SIDE ELEVATION



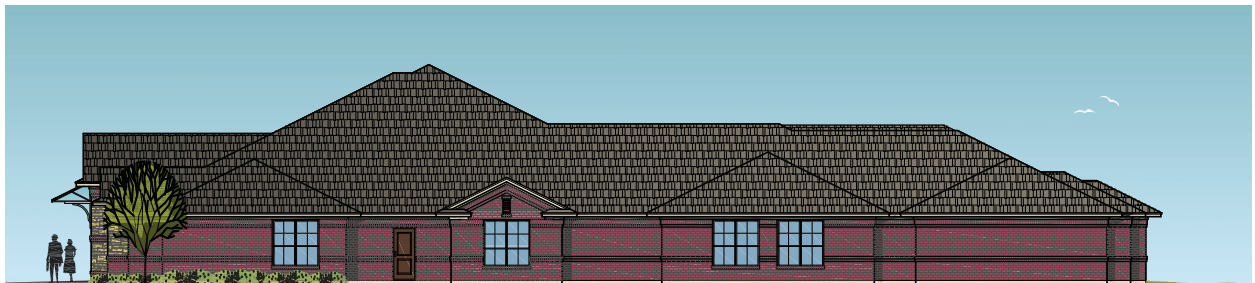
ASSISTED LIVING FACILITY - BUILDING 3
ALLEN, TEXAS FRONT / WEST ELEVATION



ASSISTED LIVING FACILITY - BUILDING 3
ALLEN, TEXAS LEFT / NORTH SIDE ELEVATION



ASSISTED LIVING FACILITY - BUILDING 3
ALLEN, TEXAS REAR / EAST ELEVATION



ASSISTED LIVING FACILITY - BUILDING 3
ALLEN, TEXAS RIGHT / SOUTH SIDE ELEVATION