



**AGENDA  
CITY OF ALLEN  
PLANNING AND ZONING COMMISSION  
REGULAR MEETING  
TUESDAY, JULY 21, 2015 – 7:00 P.M.  
CITY COUNCIL CHAMBERS  
ALLEN CITY HALL  
305 CENTURY PARKWAY  
ALLEN, TEXAS 75013**

**Call to Order and Announce a Quorum is Present**

**Pledge of Allegiance**

**Directors Report**

1. Action taken on the Planning & Zoning Commission items by City Council at the July 14, 2015, regular meeting.

**Consent Agenda** *(Routine P&Z business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.)*

2. Capital Improvement Plan CIP Status Report.
3. Approve minutes from the July 7, 2015, regular meeting.
4. Final Plat – Consider a Final Plat for Lots 1 - 4, Block 1, Twin Creeks Marketplace Addition. The property is 5.362± acres, located in the Catherine Parsons Survey, Abstract No. 711, City of Allen, Collin County, Texas; generally located at the southeast corner of Exchange Parkway and Alma Drive. (FP-6/9/15-35) [Twin Creeks Marketplace]

**Regular Agenda**

5. Replat/Public Hearing – Conduct a Public Hearing and consider a request for a Replat for Lots 2R & 3, Block 1, Allen Station Business Park II, being a Replat of Lot 2, Block 1, Allen Station Business Park, Phase II. The property is 6.728± acres located in the L.K. Pegues Survey, Abstract No. 702, City of Allen, Collin County, Texas; generally located north of Exchange Parkway and west of Andrews Parkway. (RP-6/9/15-36 [Caliber Collision])
6. Replat/Public Hearing – Conduct a Public Hearing and consider a request for a Replat for Lot 4R, Block A, Allen Watters, L.P. Addition, being a Replat of Lot 4, Block A, Allen Watters, L.P. Addition. The property is 1.175± acres, located in the Michael Lee Survey, Abstract No. 543, City of Allen, Collin County, Texas; generally located south of McDermott Drive and west of Watters Road. (RP-6/16/15-40) [Express Oil Change]
7. Public Hearing – Conduct a Public Hearing and consider a request to change the zoning to create a new Planned Development for Single-Family, Multi Family, Office and Retail Uses. The property is a 91.3± acre portion of land located in the Thomas G. Kennedy Survey, Abstract No. 500, City of Allen, Collin County, Texas; generally located north and south of Montgomery Boulevard and west of US Highway 75. (Z-2/4/15-4) [Montgomery Ridge Ph. 2]

**Executive Session** *(As needed)*

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

**Adjournment**

This notice was posted at Allen City Hall, 305 Century Parkway, Allen, Texas, at a place convenient and readily accessible to the public at all times. Said notice was posted on Friday, July 17, 2015 at 5:00 p.m.

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Shelley B. George, City Secretary

Allen City Hall is wheelchair accessible. Access to the building and special parking are available at the entrance facing Century Parkway. Requests for sign interpreters or special services must be received forty-eight (48) hours prior to the meeting time by calling the City Secretary at 214-509-4105.

### **Director's Report from 7/14/2015 City Council Meeting**

- The request to adopt an Ordinance to amend Specific Use Permit No. 129 relating to the identity of the Owner/Operator of the business authorized to operate under this Specific Use Permit for the property located at 909 W. Stacy Road for Emler Swim School, was approved.

<b>PLANNING &amp; ZONING COMMISSION AGENDA COMMUNICATION</b>
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**AGENDA DATE:** July 21, 2015

**SUBJECT:** Capital Improvement Program (CIP) Status Report

**STAFF RESOURCE:** Chris Flanigan, PE  
Director of Engineering

**PREVIOUS COMMISSION/COUNCIL ACTION:** None

**PUBLIC NOTICE:** None

**BACKGROUND**

Every month the Engineering Department will provide a status update of the City's Capital Improvement projects.

**STAFF RECOMMENDATION**

N/A

**MOTION**

N/A

**ATTACHMENTS**

CIP Progress Report through June, 2015  
CIP Map through June, 2015



# ENGINEERING CIP REPORT - THROUGH JUNE 2015

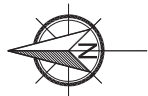
		PROJECT		STATUS / COMMENTS		CONST. DATES
FACILITIES	1	Fire Station 2 Reconstruction	PS1303	City Council awarded to Crossland Construction June 23; It is anticipated that the temporary site preparations, move in of staff, abatement and demolition will all complete by October, with new construction beginning thereafter.		Complete Fall 2016
	2	Fire Station 3 & 4 Lighting	PS1408	All LED lighting is complete, ONCOR rebate has been received. Project close out in July, after receiving final invoices from FSG.		Substantially Complete
	3	City Hall Basement Remodel	PS1501	Drawings issued for Bid are complete; Bid ad goes out on July 2nd, with bids due on July 17th. Council approval anticipated at the August 25th meeting, with construction scheduled to begin first week of September.		Complete Dec. 2015
	4	Central Station HVAC	Gen Fund	Installation is complete, controls have been installed and personnel trained. Project close out in July, after receiving final invoices from AireDynamics.		Substantially Complete
ROADS	5	2015 Intersection Improvements	ST1504	Survey Work is complete and Huitt-Zollars is currently developing a schematic design.		TBD
	6	2014 Street and Alley Repair	ST1401	Awarded to Jim Bowman Construction. Original scope amended to include additional accessibility ramps in various subdivisions, accessibility improvements at the City Hall parking lot, and other pavement modifications throughout the City.		Complete Fall 2015
	7	Alma Drive Widening (Hedgcoxe-SH121)	TBD	ILA approved at the April 28th City Council Meeting. Commissioners Court approved at June 1st meeting. A public meeting was held for affected residents on June 18th. Design planned for award at the July 14th City Council meeting.		Begin Summer 2016
	8	Ridgeview Drive (Watters - US75)	ST1202	No formal construction schedule. Awaiting development trends in this area.		TBD
	9	Ridgeview Drive (Alma through Stacy) Ph 1	ST1308	Work has been delayed due to heavy rain experienced in April/May, but has resumed in June. Completion date has slid 2 months as a result. Retaining Wall construction is anticipated to begin June 29, 2015.		Complete Fall 2015
	10	Montgomery Boulevard Extension	ST1403	Construction by McMahon has begun. Rough grading work is complete on both east and west side of the creek.		Complete March 2016
	11	FM 2551	ST0316	Design is being managed by Collin County to widen FM 2551 to six lanes. Project is awaiting funding agreements between the County, TxDOT and stakeholder Cities.		TBD
	12	Stacy Road, Ph 2 (Greenville - FM 1378)	ST0704 NTMWD	Roadway is a TxDOT project, currently planned to begin construction in Summer 2015.		Begin Summer 2015
	13	Bray Central Street Lights	JBGL	Developer, JBGL, installing street lights on Bray Central (Watters to Exchange) and Watters Road (Bossy Boots to Raintree). Bray Central streetlights are currently being installed. Watters Road streetlights are in final design.		Complete Oct. 2016
	14	US 75 Widening	TXDOT	Addition of 2 general purpose lanes, selected ramp reversals, and intersection improvements.		Complete Oct. 2016
UTILITIES	15	Cottonwood Creek Wastewater Rehab	WA1501	Pipe-bursting rehabilitation of approximately 2,700 lf of wastewater main, north of Bethany Drive. Contract awarded to No-Dig Tec. Pipe is scheduled to be delivered in July. Construction anticipated to begin July 28 and last 75 days.		Complete Fall 2015
	16	Fountain Park Water/SS Rehab, Ph 1	WA1403	Construction awarded to Kodiak Trenching and Boring. Construction began in June.		Complete November 2015
	17	SCADA System Upgrade	WA1402	Design is in progress. Scope has been added to the project extending the bid to late Summer 2015.		Complete Dec. 2015
OTHER	18	Cottonwood Creek Bank Stabilization	DR1401	Construction bids opened June 29 and anticipated to be awarded at the July 14th City Council meeting.		Complete Fall 2015
	19	Olson & Beverly Elementary Sidewalk Improvements	ST1501	TxDOT to issue contracts for the project summer 2015. Once contracts are fully executed, TxDOT will review plans and be a participant of the bidding process.		Summer 2015

CONSTRUCTION

DESIGN

DESIGN (BY OTHERS)

CONSTRUCTION (BY OTHERS)



STATUS

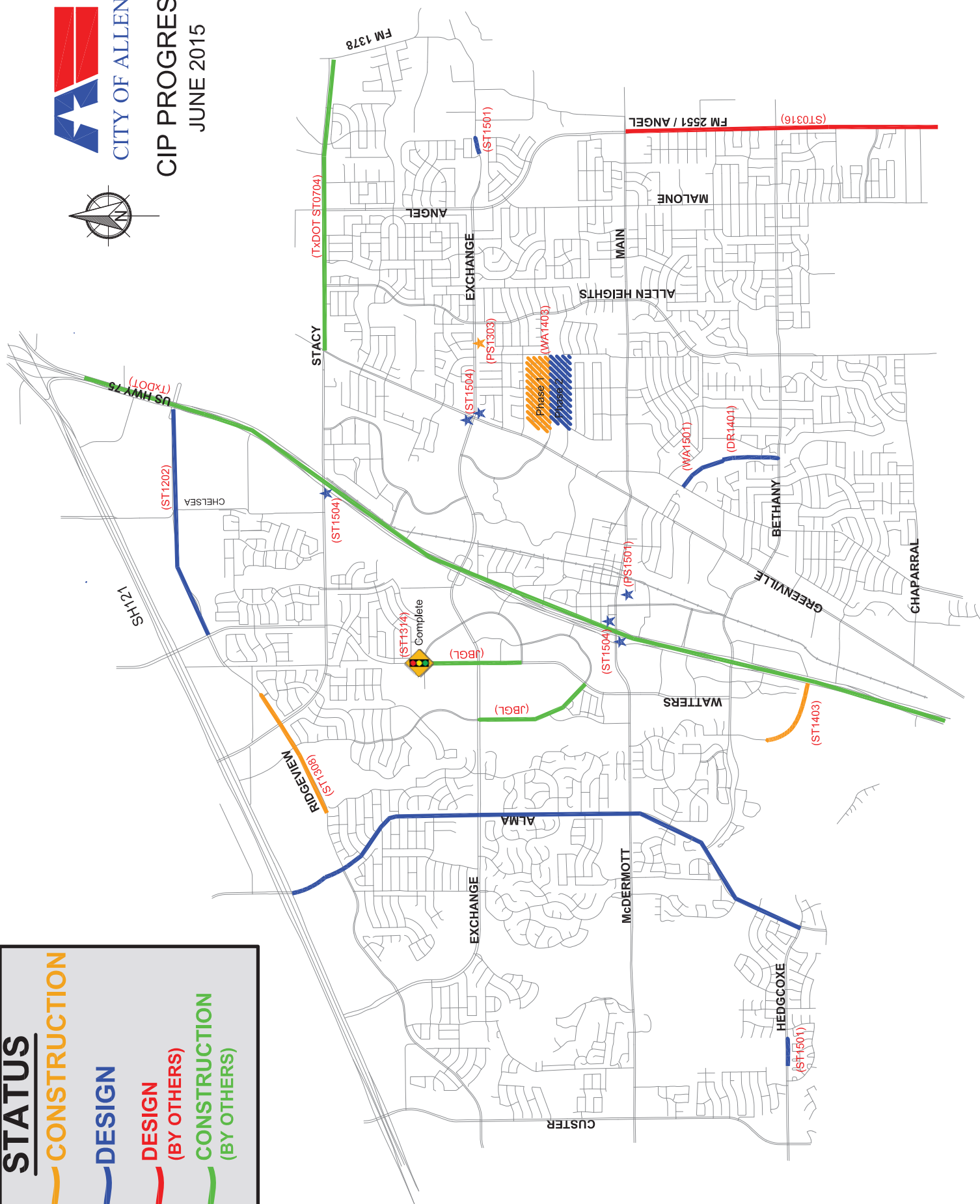
CONSTRUCTION

DESIGN

DESIGN (BY OTHERS)

CONSTRUCTION

CONSTRUCTION (BY OTHERS)





**PLANNING AND ZONING  
COMMISSION**

**Regular Meeting  
July 7, 2015**

**ATTENDANCE:**

**Commissioners Present:**

Jeff Cocking, Chair  
Shirley Mangrum, 1<sup>st</sup> Vice-Chair  
John Ogrizovich  
Luke Hollingsworth  
Stephen Platt, Jr.

**Absent:**

Ben Trahan, 2<sup>nd</sup> Vice-Chair  
Michael Orr

**City Staff Present:**

Ogden "Bo" Bass, AICP, Director of Community Development  
Shawn Poe, PE, Assistant Director of Engineering  
Tiffany McLeod, Senior Planner  
Madhuri Kulkarni, Planner  
Kevin Laughlin, City Attorney

**Call to Order and Announce a Quorum is Present:**

With a quorum of the Commissioners present, Chairman Cocking called the meeting to order at 7:00 p.m. in the City Hall Council Chambers Room at Allen City Hall, 305 Century Parkway.

**Director's Report**

1. Action taken on the Planning & Zoning Commission items by City Council at the June 23, 2015, regular meeting attached.

**Consent Agenda**

2. Approve minutes from the June 16, 2015, regular meeting.

**Motion:**        Upon a motion by 1<sup>st</sup> Vice-Chair Mangrum, and a second by Commissioner Hollingsworth, the Commission voted 5 IN FAVOR, and 0 OPPOSED to approve the Consent Agenda.

**The motion carried.**

**Regular Agenda**

3. Tabled Item/Public Hearing – Conduct a Public Hearing and consider a request to amend the development and use regulations applicable to Tract 4 of Planned Development PD No. 53, from Community Facilities CF to Townhome Residential District TH, and adopt a Concept Plan, Building Elevations, and Development Regulations for the Property. The Property is Lot 2, Block A, Allen Stake Center, City of Allen, Collin County, Texas; generally located west of Alma Drive and north of Exchange Parkway. (Z-2/4/15-3) [Allen Stake Center]

Ms. Tiffany McLeod, Senior Planner, presented to the Commission. She stated this is a tabled item for a PD amendment to PD No. 53.

Ms. McLeod stated that the item was tabled at the June 2<sup>nd</sup> meeting, and then subsequently tabled at the June 16<sup>th</sup> meeting to give the applicant time to address questions and concerns that were voiced during the two meetings.

The property is generally located north of Exchange Parkway and west of Alma Drive. The property to the north is zoned Planned Development No. 53 Single Family Residential SF. The properties to the east are zoned Planned Development No. 53 Single Family Residential R-6 and Planned Development No. 53 Shopping Center SC. The properties to the south, across Exchange Parkway, are zoned Planned Development No. 54 Single Family Residential SF. The property to the west is zoned Planned Development No. 53 Community Facilities CF.

The applicant is requesting to amend PD-53 for a townhome subdivision with 43 front-entry lots. Ms. McLeod gave a summary of the proposal. The lot width proposed is 25', lot depth 115', and lot area is 2875 square feet, which exceeds ALDC standards. The proposed dwelling unit size is 1350 square feet, and also exceeds ALDC standards. The open space provided is approximately 1.5 acres. The revised plan now provides for 24 visitor parking spaces and also exceeds ALDC standards.

The significant change that was made to the plan relates to access. Previously, Street A curved and joined into a shared driveway with the existing church. The revised plan shows Street A as a straight road with a direct connection to Exchange Parkway. Because the distance between the new driveway and existing shared driveway does not comply with the Engineering separation standards, the existing shared driveway is proposed to be closed at the time of the subdivision is accepted if the case is approved. The second point of access for the Church is the easement which will connect to Street A. The applicant provided a letter from the Church of Jesus Christ LDS stating support of the new configuration and closure of existing driveway.

Ms. McLeod also stated that the open space/sidewalk/emergency access plan was submitted to explain the purpose for the 10' open space area in between and in the rear of the units. There will be a rear gate of each lot that will provide an access path from the open space to Street A. All of the lots will be sprinklered. The sidewalk is located within the public right-of-way. There is a 20' driveway provided for each lot.

A screening plan is provided as well to further detail the screening proposed for the property. On the north, northeastern, and southern boundary is an 8' tubular steel fence. On the eastern property boundary, there will be an 8' masonry wall, extended to southern lot line of the residential subdivision. On the west side, the 8' masonry wall extends to the northern boundary which crosses the existing utility easement and fully encloses the property boundary.

Ms. McLeod presented the enhanced landscaping for the property. There is now a view corridor from Exchange Parkway along Street A. On the north end, the landscaping provided are Eastern red cedars. This will also be accompanied by tubular steel fence. Within the open space, there will be red oaks, live

oaks, crepe myrtles, and various shrubs around the cul-de-sac. On the southern end, Chinese Pistache and Live Oaks are provided along Exchange Parkway as well as various shrub screening. A subdivision entrance sign, to be located at the southeastern corner of the property, is also proposed and complies with ALDC standards.

Ms. McLeod presented the elevations, and stated the front elevation was corrected to show only two car garages. Masonry material is primarily stone, brick and composition shingle roofing. An enhanced driveway material (exposed aggregate) is also proposed.

The development regulations did not change. The only change is that the landscape plan and the screening plan will be added as exhibits to the ordinance if the case moves forward to City Council.

Ms. McLeod concluded by stating that staff believes the use is appropriate for the site. The enhancements provided by the applicant are improvements to the original plan.

Chairman Cocking reopened the public hearing.

Chairman Cocking closed the public hearing.

Chairman Cocking stated that one letter was received, but retracted. No additional letters were received.

Commissioner Ogrizovich asked if there is an HOA association for the property. Ms. McLeod answered yes, an HOA will be required.

1<sup>st</sup> Vice-Chair Mangrum commended the developer for being creative. She fully supports the proposal and thanked the developer to listening to the Commission's concerns.

**Motion:**           **Upon a motion by Commissioner Hollingsworth, and a second by Commissioner Platt, the Commission voted 5 IN FAVOR, and 0 OPPOSED to recommend approval of the request to amend the development and use regulations applicable to Tract 4 of Planned Development PD No. 53, from Community Facilities CF to Townhome Residential District TH, and adopt a Concept Plan, Building Elevations, and Development Regulations for Lot 2, Block A, Allen Stake Center.**

**The motion carried.**

4. Public Hearing – Conduct a Public Hearing and consider a request to change the base zoning of a portion of Planned Development No. 3 from Shopping Center SC to Light Industrial LI and amend the development regulations and adopt a Concept Plan and Building Elevations for the Property. The Property is a 6.5± acre tract of land situated in the William Perrin Survey, Abstract No. 708, a portion of Tract M, Allen Business Center, City of Allen, Collin County, Texas; generally located northwest of the intersection of Bethany Drive and Greenville Avenue. (Z-2/19/15-6) [The Tech Center on Greenville]

Ms. Madhuri Kulkarni, Planner, presented to the Commission. She stated this item is a public hearing and a PD amendment for the Tech Center on Greenville.

The property is currently zoned Planned Development PD No. 3 for Shopping Center SC. The applicant is requesting to change the base zoning of the property from Shopping Center SC to Light Industrial LI and

adopt development regulations, a concept plan, and building elevations for the property. Development plans are for a multi-building complex principally intended for office, warehouse, office/showroom uses, and a limited number of sales and service uses. The purpose of this request is to provide market flexibility while providing effective parking and circulation.

Ms. Kulkarni stated that the overall purpose of this project is to change the base zoning of PD No. 3 from Shopping Center to Light Industrial. The applicant has presented development plans for a multi-building complex, intended mainly for office uses, warehouse uses, office/showroom/warehouse uses, and a limited number of sales and service uses. Staff and the applicant have worked together to provide market flexibility and, at the same time, providing effective parking and circulation. One of the aspects of market flexibility is to change definitions of office, warehouse, and office/showroom/warehouse. The PD will adopt the Concept Plan, Landscape Plan, Building Elevations, and Development Regulations.

Ms. Kulkarni presented the Concept Plan that shows 6.5 acres with 3 buildings on 3 lots. There are 2 access points that are provided. One of the access points is off Greenville Avenue and the other access point is on the southwestern portion of the property through an access easement (ultimately connecting to Bethany Drive). Specifically, each of the buildings range from 24,000 square feet to 38,000 square feet. The parking for each of the individual lots meets the standards for the Allen Land Development Code. Each of the buildings also includes a loading area. Each of these loading areas will include a screening wall that will screen the loading area from the western and eastern sides. A truck dock loading area is also provided on the southwestern portion of the property. Parking and storage will not be permitted in this area. Additionally, the Landscape Plan is mainly provided to also show the enhanced landscaping that will be provided for the truck dock loading area. Enhanced landscaping will be of sufficient height to adequately screen vehicles from Greenville Avenue.

The Building Elevations for the three buildings were also presented. The primary material will be Concrete Panel.

Lastly, the development regulations were summarized –

- Base Zoning District: Light Industrial LI
- Front Yard: 25'
- Side Yard 10'
- Rear Yard: 45'
- Additional Permitted Uses include Auto Parts Sales and Bicycle Shop among a few other uses listed in the Development Regulations
- No outdoor storage is permitted and all supplies and equipment have to be fully enclosed inside the building. Service vehicles are permitted, but shall not be visible from any public right-of-way.
- No storage or parking is permitted in the truck dock loading area (except during the active loading/ unloading of items), and shall be screened from Greenville Avenue.

The office, warehouse, and office/showroom/warehouse use definitions were then explained. The primary purpose for these definitions, again, is to grant additional market flexibility for various future tenants and users and their business operations.

Ms. Kulkarni presented a rendering of the proposed development, and stated that staff and applicant have worked together to provide for market flexibility as well as adequate parking, circulation, and through the development standards established with the Concept Plan, Development Regulation, Landscape Plan, and Building Elevations.

She also stated that she had a conversation with an individual on the east side of Greenville who had a hard time understanding the plan. However, he is satisfied after the conversation and understanding that this is a general concept that will be further vetted. The project will go to City Council on July 28<sup>th</sup> if the Planning and Zoning Commission recommend approval.

Chairman Cocking asked for further explanation on the southern loading dock area. He said this looks like a skateboard magnet. He wanted to know how this will be used and if this has been done before in Allen.

Mr. Bruce Heller, President of JaRyCo Development, 780 N. Watters Road, Suite 120, Allen, TX, addressed the commission. He said that the idea has been taken from the McKinney area. This project is coming out of the leasing activity over the Corporate Center project where there are a lot of office users indicating they need more storage for the clients. The loading doors on the back of the buildings are all grade level. The southwest portion is proposed to have a dock high off-loading area. Mr. Heller said they are considering putting gates across that area to keep people from using it. Tenants would have access to open the gates to use from a loading standpoint, but then the gates would be closed to prevent a skateboard park.

Chairman Cocking opened the public hearing.

Amanda DeGray, 502 White Oak St., Allen, TX, spoke to the Commission and recommended to put a fence around the entire property. She is concerned that this area might become crime-ridden. She also said it does not look appealing. She also asked if the businesses will be open 24 hours.

Chairman Cocking closed the public hearing.

Mr. Heller stated that tenants can access the property any hour of the day, but anticipates normal operation hours from 8 to 5. Staff has been adamant that this area does not become a retail area. A large detention pond will be constructed along Greenville Avenue that will be landscaped. Instead of a 15' landscape easement, there will be a 60' wide greenbelt along Greenville. This project is designed similar to Corporate Center project on Watters Road. Office entrances are almost identical to the Corporate Center building. The backside has the overhead doors.

Chairman Cocking asked what types of businesses may be included.

Mr. Heller stated that one of them is a computer company that is 75% office and 25% warehouse. They customize computers and take them to their corporate clients. Other companies he mentioned include an electric company and a company that would store camera components that would do surveillance on construction sites.

Chairman Cocking asked staff about the fencing concern that was brought up.

Ms. Kulkarni stated that the zoning on either side is non-residential, so there is no screening requirement.

Chairman Cocking reiterated that any time residential zoning touches directly to non-residential zoning, there is an 8' masonry wall requirement, but that is not required in this case with the a major road and the 60' greenbelt area.

Chairman Cocking then stated that a few of the lots appear to be landlocked and asked if there are any public easements.

Mr. Ogden “Bo” Bass, Director of Community Development, stated that mutual access easements will be provided when the property is platted.

**Motion:**           Upon a motion by Commissioner Platt, and a second by 1<sup>st</sup> Vice-Chair Mangrum, the Commission voted **5 IN FAVOR**, and **0 OPPOSED** to recommend approval of the request to change the base zoning of a portion of Planned Development No. 3 from Shopping Center SC to Light Industrial LI and amend the development regulations and adopt a Concept Plan and Building Elevations for the 6.5± acre tract of land situated in the William Perrin Survey, Abstract No. 708, a portion of Tract M, Allen Business Center, City of Allen, Collin County, for The Tech Center on Greenville.

**The motion carried.**

**Adjournment**

The meeting adjourned at 7:33 p.m.

These minutes approved this \_\_\_\_\_ day of \_\_\_\_\_ 2015.

\_\_\_\_\_  
Jeff Cocking, Chairman

\_\_\_\_\_  
Madhuri Kulkarni, Planner



**Director's Report from 6/23/2015 City Council Meeting**

- The request to adopt an Ordinance to approve Development Regulations, a Concept Plan and Building Elevations for 10.498± acres of land, presently zoned as Shopping Center and Planned Development No. 113 for Multi-Family MF-18 to a Planned Development with a base zoning of Townhome Residential, generally located southeast of Main Street and Greenville Avenue, for Parkview Lane, was approved.

<b>PLANNING &amp; ZONING COMMISSION</b> <b>AGENDA COMMUNICATION</b>
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**AGENDA DATE:** July 21, 2015

**SUBJECT:** Consider a Final Plat for Lots 1 - 4, Block 1, Twin Creeks Marketplace Addition. The property is 5.362± acres, located in the Catherine Parsons Survey, Abstract No. 711, City of Allen, Collin County, Texas; generally located at the southeast corner of Exchange Parkway and Alma Drive. (FP-6/9/15-35) [Twin Creeks Marketplace]

**STAFF RESOURCE:** Madhuri Kulkarni  
Planner

**PREVIOUS COMMISSION/COUNCIL ACTION:** May, 1993 – PD 54 adopted  
May, 2013 – PD 54 (Tract 15) amended  
August, 2014 – Preliminary Plat approved  
April, 2015 – PD amended

**BACKGROUND**

The property is generally located southeast of the intersection of Exchange Parkway and Alma Drive. The properties to the south and west (across Alma Drive) are zoned Planned Development No. 54 Single Family Residential SF. The properties to the north (across Exchange Parkway) are zoned Shopping Center SC and Planned Development No. 54 Single Family Residential SF. The property to the east is zoned Planned Development No. 54 Shopping Center SC.

A Preliminary Plat (as part of the Assured Self Storage project) was approved in August 2014. A PD Concept Plan for this property was approved in April 2015 for a shopping center development that contains a grocery store, restaurant and retail space. The Final Plat is the last step in the development process.

The Final Plat shows four (4) lots on approximately 5.362± acres. There are a total of four (4) access points for the property; two (2) access points are on Exchange Parkway and two (2) access points are on Alma Drive. The plat also shows various easements (detailed on Sheet 2) and ROW dedication required for development of the site.

The Final Plat has been reviewed by the Technical Review Committee, is consistent with the PD Concept Plan and Preliminary Plat, and meets the requirements of the *Allen Land Development Code*.

**STAFF RECOMMENDATION**

Staff recommends approval.

**RECOMMENDED MOTION**

*I make a motion to approve the Final Plat for Lots 1 - 4, Block 1, Twin Creeks Marketplace Addition, being 5.362± acres, generally located at the southeast corner of Exchange Parkway and Alma Drive, for Twin Creeks Marketplace.*

**ATTACHMENTS**

Final Plat





## PLANNING & ZONING COMMISSION AGENDA COMMUNICATION

**AGENDA DATE:** July 21, 2015

**SUBJECT:** Conduct a Public Hearing and consider a request for a Replat for Lots 2R & 3, Block 1, Allen Station Business Park II, being a Replat of Lot 2, Block 1, Allen Station Business Park, Phase II. The property is 6.728± acres located in the L.K. Pegues Survey, Abstract No. 702, City of Allen, Collin County, Texas; generally located north of Exchange Parkway and west of Andrews Parkway. (RP-6/9/15-36 [Caliber Collision])

**STAFF RESOURCE:** Madhuri Kulkarni  
Planner

**PREVIOUS COMMISSION/  
COUNCIL ACTION:** December, 2005 – Final Plat approved  
June, 2010 – Replat approved

### **BACKGROUND**

The property is generally located north of Exchange Parkway, south of Cabela Drive, and west of Andrews Parkway. The property to the east and south is zoned Planned Development PD No. 58 for Light Industrial LI. The property to the north is zoned Planned Development PD No. 103 for Shopping Center SC. The property to the west is zoned Planned Development PD No. 45 for Corridor Commercial CC and Planned Development PD No. 58 for Shopping Center SC.

A Site Plan for an Auto Body Shop use (Caliber Collision) is currently being reviewed by staff for the southern portion of the property. Replatting the property is the last step in the development process.

The Replat is for 6.728 ± acres of land and divides the property into two (2) lots. There are two (2) access points into this lot, both on Andrews Parkway through a Firelane, Access, and Utility Easement. The plat creates additional easements and dedicates right-of-way required for development.

The Replat has been reviewed by the Technical Review Committee, is consistent with the Site Plan, and meets the standards of the Allen Land Development Code.

### **STAFF RECOMMENDATION**

Staff recommends approval.

### **MOTION**

*I make a motion to approve the Replat for Lots 2R & 3, Block 1, Allen Station Business Park II, for 6.728± acres, generally located north of Exchange Parkway and west of Andrews Parkway, for Caliber Collision.*

### **ATTACHMENTS**

Replat



## PLANNING & ZONING COMMISSION AGENDA COMMUNICATION

**AGENDA DATE:** July 21, 2015

**SUBJECT:** Conduct a Public Hearing and consider a request for a Replat for Lot 4R, Block A, Allen Watters, L.P. Addition, being a Replat of Lot 4, Block A, Allen Watters, L.P. Addition. The property is 1.175± acres, located in the Michael Lee Survey, Abstract No. 543, City of Allen, Collin County, Texas; generally located south of McDermott Drive and west of Watters Road. (RP-6/16/15-40) [Express Oil Change]

**STAFF RESOURCE:** Madhuri Kulkarni  
Planner

**PREVIOUS BOARD/COUNCIL ACTION:** January, 2001 – General Development Plan approved  
December, 2007 – SUP approved for Kaufman Tire  
February, 2008 – Revised Preliminary Plat  
May, 2008 – Final Plat approved  
May, 2015 – SUP approved for Express Oil Change

### **BACKGROUND**

The property is generally located southwest of the intersection of McDermott Drive and Watters Road, and is zoned Shopping Center SC. The properties to the north, west, and south are zoned Shopping Center SC. The property to the east (across Watters Road) is zoned Planned Development No. 55 for Commercial/Office C/O.

A Specific Use Permit for a Minor Automotive Repair use (Express Oil Change) was approved in May 2015. A Site Plan is currently being reviewed by staff. Replatting the property is the last step in the development process.

The Replat is for 1.175± acres of land for one (1) lot. There are three (3) access points into the site; two (2) access points to the north through an existing Fire Lane and Access Easement, and one (1) access point to the south through an existing Firelane, Access, and Utility easement on the property to the south. The plat shows various easements and right-of-way dedication required for development.

The Replat has been reviewed by the Technical Review Committee, is consistent with the approved Specific Use Permit, Site Plan, and meets the standards of the Allen Land Development Code.

### **STAFF RECOMMENDATION**

Staff recommends approval.

### **MOTION**

*I make a motion to approve the Replat for Lot 4R, Block A, Allen Watters, L.P. Addition, being 1.175± acres, generally located south of McDermott Drive and west of Watters Road, for Express Oil Change.*

### **ATTACHMENTS**

Replat







## PLANNING & ZONING COMMISSION AGENDA COMMUNICATION

**AGENDA DATE:** July 21, 2015

**SUBJECT:** Public Hearing – Conduct a Public Hearing and consider a request to change the zoning to create a new Planned Development for Single-Family, Multi Family, Office and Retail Uses. The property is a 91.3± acre portion of land located in the Thomas G. Kennedy Survey, Abstract No. 500, City of Allen, Collin County, Texas; generally located north and south of Montgomery Boulevard and west of US Highway 75. (Z-2/4/15-4) [Montgomery Ridge Ph. 2]

**STAFF RESOURCE:** Ogden “Bo” Bass, AICP  
Director of Community Development

**PREVIOUS COMMISSION/COUNCIL ACTION:** October, 1998 – Adopted PD 74  
April, 2005 – Preliminary Plat

**LEGAL NOTICES:** Public Hearing Sign – July 10, 2015  
Public Hearing Notices – July 10, 2015

**ANTICIPATED COUNCIL DATE:** August 11, 2015

### **BACKGROUND**

The property is generally located north and south of Montgomery Boulevard and west of US 75. The property to the north is zoned Planned Development PD No. 76 Townhome Residential (TH). The property to the east is zoned Planned Development PD No. 99 Mixed Use (MIX) and Planned Development PD No. 66 Corridor Commercial (CC). The property to the south is zoned Floodplain – Community Facilities (FP-CF) and Agriculture Open Space AO. The property to the west is zoned Planned Development PD No. 74 Single Family Residential R-7.

The property is currently zoned Planned Development No. 74 Office O and Floodplain-Office (FP-O). The applicant is requesting to create a new Planned Development for the second phase of Montgomery Ridge (Phase 1 was approved in July, 2014). This second phase is intended to be a unique mixed-use development that integrates office space, diverse housing, and supportive retail/commercial services within a pedestrian oriented environment.

The proposed development is approximately 91.3± acres. The attached Concept Plan shows the development subdivided into various “character zones”. These zones define the use and design characteristics that are intended for each area within the development. A general summary of each character zone is provided below:

Neighborhood Ph. 2 Zone – A residential area designated for detached single-family residential lots (61 lots total, 50’x80’ minimum lot size). The architectural styles, lot sizes and open space pattern will be consistent with Phase 1.

Transition Zone – A higher density residential area designated for townhomes (32 lots total), and multi-family residential buildings (three to five stories) with structured parking.

Mixed Use Employment Zone – Intended for three to five story buildings, structured parking, and a mix of office, retail and/or commercial uses.

Mixed Use Residential Zone –Intended for three to five story buildings, structured parking, and multi-family residential with retail ready space for supportive retail uses.

Mixed Use Flex Zone –These two areas, labeled as Blocks A and B, are intended to grant the applicant more market flexibility.

Block A will develop as either a residential area that is designated for detached single-family residential lots and townhomes *or* three to five story buildings, structured parking, and a mix of office, retail and/or commercial uses.

Block B will develop as either a residential area that is designated for detached single-family residential lots *or* three to five story buildings, structured parking, and a mix of multi-family residential, office, retail and/or commercial uses.

The Concept Plan also shows approximately 7.9± acres of open space, and a trail corridor that runs through the development and connects to Montgomery Ridge Phase 1 and the Six Cities trail.

The attached Street Concept Plan outlines the street pattern for the development. The main access point for the development is Montgomery Boulevard; which currently connects to Bethany Drive and will ultimately connect to US 75. The internal streets are designed to create pedestrian oriented streetscapes along with being fully functional for vehicular circulation.

The attached development regulations establish the use and design standards for each of the described character zones, and also include standards related to street design, landscaping, floodplain reconfiguration and maintenance of common areas.

The attached Building Elevations provide general examples of the various building types, architectural styles and building materials planned for the development.

The request has been reviewed by the Technical Review Committee.

### **STAFF RECOMMENDATION**

Staff recommends approval.

### **MOTION**

*I make a motion to recommend approval of the request to create a new Planned Development for Single-Family, Multi-Family, Office and Retail Uses, and adopt a Concept Plan, Development Regulations, and Building Elevations for a 91.3± acre portion of land generally located north and south of Montgomery Boulevard and west of US Highway 75 for Montgomery Ridge Phase 2.*

### **ATTACHMENTS**

Property Notification Map  
Development Regulations  
Concept Plan  
Street Concept Plan  
Building Elevations

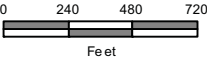




**Property Ownership Notification**  
**Montgomery Ridge Ph 2**

**Map Legend**

- 200' Notification Buffer
- Property Rezone
- Railroad
- CollinCAD Parcels
- City Limit



**Planning & Development - GIS**  
Date Saved: 7/2/2015

NOTE: This map is only for illustration purpose only, please contact the City of Allen Planning & Development Department for specific rules and regulations.





**DRAFT OF PROPOSED DEVELOPMENT REGULATIONS FOR**  
**MONTGOMERY RIDGE PH. 2**

The Property shall be developed and used in accordance with the applicable provisions of the Allen Land Development Code, as amended, (“ALDC”) except to the extent modified by the Development Regulations set forth below:

- A. BASE ZONING DISTRICT:** The Property shall be developed and used only in accordance with the Single Family Residential (R-7), Multi-family Residential (MF-18) and Corridor Commercial (CC) standards of the ALDC, except as otherwise provided herein.
- B. CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit A and incorporated herein by reference. No building permits for the Mixed Use (Employment and Residential) Zones, portion of the Transition Zone located south of Granada Drive and east of Street 3 or alternative options of the Mixed Use Flex Zones shall be issued by the City until detailed site plans for development within these areas have been approved.
- C. STREET CONCEPT PLAN:** The Property shall be developed in general conformance with the Street Concept Plan attached hereto as Exhibit “B”, and incorporated herein by reference.
- D. BUILDING ELEVATIONS:** The Property shall be developed in general conformance with the Building Elevations attached hereto as Exhibit “C”, and incorporated herein by reference.
- E. FLEXIBLE DESIGN STANDARDS:** The City’s Director of Community Development, Director of Engineering, Director of Parks and Recreation and/or Chief Building Official, as the case may be, shall have the authority, but not the obligation, to approve a request to modify the development regulations identified in Table 1 below subject to the criteria and limitations set forth in Table 1 to the extent such regulations apply to the Property:

<b>Table 1: Flexible Design Standards</b>			
<i>Code Standard</i>	<i>Extent of Administrative Modification Permitted</i>	<i>Criteria</i>	<i>Administrator of Modification</i>
<b>1. Concept Plan Map</b>			
a. Location of any Required Street	Location may be shifted no more than 60feet in any direction	<ul style="list-style-type: none"> <li>i. Must maintain the connectivity intended by the Concept Plan</li> <li>ii. Must maintain the continuation and/or connectivity with any existing streets where possible</li> </ul>	Director of Community Development, Director of Engineering and the Building Official.
b. Area of any Required Open Space/ Parkland	Each required Open Space or Parkland area may be reduced by no more than 10% of the area shown on the Concept Plan	<ul style="list-style-type: none"> <li>i. Shall maintain the frontages required by the Concept Plan</li> <li>ii. Area may be adjusted to accommodate shifting of any new Required Streets only</li> </ul>	Director of Community Development, Director of Engineering, the Building Official and the Director of Parks and Recreation.

<b>2. Development Standards</b>			
a. Streetscape standards <sup>1</sup>	Street tree planting may be adjusted based on the development context and street cross section.	Any changes to the streetscape standards shall be based on specific development context such as existing vegetation, natural features, drainage, and fire access and is subject to approval by the City.	Director of Community Development, Director of Engineering, and the Building Official.
b. Side yard setback	Side yard setbacks for lots located across the street from any front yard may be modified.	Any such changes to the side yards based on compatibility of streetscape.	Director of Community Development, Director of Engineering, and the Building Official.
c. Driveways	Driveways may be allowed to be closer than the 10foot minimum spacing in order to reduce curb cuts and expand front yard space.	Driveways may abut other driveways or the property line provided both driveways meet the minimum driveway width and drainage requirements.	Director of Community Development, Director of Engineering, and the Building Official.
d. Lot Size	Lot sizes may be reduced by up to 5% of the size originally shown n the Concept Plan and reconfigured as necessary to conform with City ordinance requirements. The lots, regardless of size, can be moved within the overall character area as long as total lot count is more than 95% of the Concept Plan.	Lots can be reconfigured to address compliance requirements of applicable City ordinances (i.e. setbacks, drainage needs, etc.).	Director of Community Development, Director of Engineering and the Building Official.
e. Lot Coverage	The maximum lot coverage for the Mixed Use Character Zone may be increased to a maximum of 95%.	Lot coverage may increase to accommodate unique development proposals provided the development on the lot continues to comply with applicable setbacks and other development standards.	Director of Community Development, Director of Engineering and the Building Official.
f. Measurement of minimum lot widths of Cul-de-sac lots	Adjustments can be made to the requirement that the minimum lot width is measured at the front yard setback line for lots located on a cul-de-sac's radius.	The point of measurement for determining compliance with minimum lot width requirements may be relocated as necessary to accommodate a unique configuration of a cul-de-sac lot by measuring a line the ends of which line shall be located at the "midpoint" of the two side lot lines which intersect the front lot line.	Director of Community Development, Director of Engineering and the Building Official.

g. Mixed Use Street Minimum Width	The minimum width for public, Mixed Use Streets may be reduced to an unobstructed width of not less than 24 feet, exclusive of on-street parking and shoulders.	The minimum width of a Mixed Use Street may be reduced if (i) all buildings fronting on the Mixed Use Street are 30 feet in height or less, or access widths and vertical clearances are adequate for fire and rescue operations.	Director of Community Development, Director of Engineering and Fire Chief.
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<sup>1</sup> Streetscape configurations are subject to modification through the construction plan review and approval process to accommodate utilities, sight visibility, safety and similar. Street trees may not be planted in the dedicated street Right of Way unless they are documented in civil plan documents according to these regulations.

- F. PERMITTED USES:** All parcels are assigned to one of the following Character Zones as designated on the Concept Plan: **Neighborhood, Transition, Mixed Use, and Mixed Use Flex.** Uses permitted in this planned development are set forth in Table 2.

Table 2: Zoning District Land Use Table					
P = Permitted   S=SUP					
Character Zones Uses	Neighborhood	Transition	Mixed Use Employment	Mixed Use Residential	Mixed Use Flex (Blocks A & B) <sup>2</sup>
<b>Residential Uses</b>					
SF Detached (40' or greater)	P	P			P
SF Detached (30'-40')		P	S		P
SF Attached		P	S	P	P
Multifamily		P	S	P	P <sup>3</sup>
<b>Other Uses</b>					
ADULT DAY CARE			S	S	S
AMUSEMENT, COMMERCIAL (INDOOR)			P	P	P
AMUSEMENT, COMMERCIAL (OUTDOOR)			S	S	S
ANTIQUÉ SHOP			P	P	P
ARTISANS AND ARTIST STUDIO			P	P	P
ASSISTED LIVING			S	S	S
BAKERY OR CONFECTIONERY			P	P	P
BANKS AND FINANCIAL INSTITUTIONS			P	P	P
BICYCLE SHOP/REPAIR SERVICE			P	P	P
BOOK, CARD OR NOVELTY SHOPS			P	P	P
CARPENTRY, PAINTING SHOP			S	S	S
CATERING			P	P	P
CHURCH			S	S	S
CLINIC, MEDICAL			P	P	P
COMMUNITY CENTER			P	P	P
DAY CARE FACILITY			P	P	P
DRUG STORE OR PHARMACY			P	P	P

	<b>Table 2: Zoning District Land Use Table</b>				
	<b>P = Permitted   S=SUP</b>				
<b>Character Zones Uses</b>	<b>Neighborhood</b>	<b>Transition</b>	<b>Mixed Use Employment</b>	<b>Mixed Use Residential</b>	<b>Mixed Use Flex (Blocks A &amp; B)<sup>2</sup></b>
FABRICS OR NEEDLEWORK SHOP			P	P	P
FARMERS MARKET			S	S	S
FLORIST/PLANT STORE			P	P	P
FOOD SERVICE			S	P	S
FRATERNAL ORG., LODGE, CIVIC CLUBS			S	P	S
GARAGE, PUBLIC PARKING			P	P	P
GROCERY			P	P	P
HARDWARE STORE			P	P	P
HARDWARE STORE (over 3,000 sq. ft.)			S	S	S
LAUNDRY/DRY CLEANING, PICK-UP ONLY			P	P	P
MICRO BREWERY			P	P	P
MUSEUM, LIBRARY, ART GALLERY (PUBLIC)			P	P	P
OFFICE USE			P	P	P
PARK OR PLAYGROUND (PRIVATE OR PUBLIC)			P	P	P
RADIO OR TV BROADCAST STUDIO			P	P	P
REAL ESTATE SALES OFFICE (TEMP.)			P	P	P
RECREATION CENTER (PRIVATE OR PUBLIC)			P	P	P
RESTAURANT			P	P	P
RESTAURANT/PRIVATE CLUB			P	P	P
RETAIL STORE			P	P	P
SPECIALTY/HEALTH FOODS			P	P	P
STUDIOS			P	P	P
THEATER			S	S	S
VETERINARY HOSPITAL, ANIMAL CLINIC OR ANIMAL BOARDING FACILITY			S	S	S

<sup>2</sup> Use category determined at time of site plan or plat.

<sup>3</sup> An SUP is required for multifamily uses in Block A.

- G. DIMENSIONAL STANDARDS:** The Dimensional Standards shall be as set for in the following Table 3, as further defined in the Character Zones.

**TABLE 3**

<div>Character Zone</div> <div>Standard</div>	Neighborhood	Transition	Mixed Use (Employment and Residential)	Mixed Use Flex	
				If under Transition	If under Mixed Use
Minimum Front yard setback	10 feet <sup>4,5</sup>	10 feet	10 feet	10 feet	10 feet
Minimum Side yard setback	3 feet <sup>6</sup> / 10 feet for corner lot	0 feet between lots/ 10 feet for corner lot	10 feet	0 feet between lots/ 10 feet for corner lot	10 feet
Minimum Rear yard setback <sup>7</sup>	10 feet <sup>8</sup>	10 feet for main structure <sup>8,9</sup>	0 feet	10 feet for main structure <sup>10</sup>	0 feet
Minimum height of buildings	None	None, except multifamily buildings must have a minimum of three stories	Three Stories	None, except multifamily buildings must have a minimum of 3 stories	Three Stories
Maximum height of building	Two stories not to exceed 35 feet in height	Three stories not to exceed 40 feet in height, except for multifamily buildings which shall be five stories, not to exceed 60 in height	Five stories not to exceed 60 feet	Three stories not to exceed 40 feet in height	Five stories not to exceed 60 feet in height, except for multifamily buildings which shall be five stories, not to exceed 60 feet in height
Minimum lot area (sq. ft.)	4,000	1,800 for single family attached; 2,700 for single family detached; multifamily lots shall be in accordance with the Base Zoning applied to the Character Zone.	NA	1,800 for single family attached; 2,700 for single family detached; multifamily lots shall be in accordance with the Base Zoning applied to the Character Zone.	NA



<div> <div>Character Zone</div> <div>Standard</div> </div>	Neighborhood	Transition	Mixed Use (Employment and Residential)	Mixed Use Flex	
				If under Transition	If under Mixed Use
Minimum lot width	50 feet	20 feet for single family attached; 30 feet for single family detached; multifamily lots shall be in accordance with the Base Zoning applied to the Character Zone.	None	20 feet for single family attached 30 feet for single family detached, multifamily lots shall be in accordance with the Base Zoning applied to the Character Zone.	None
Minimum lot depth	80 feet	60 feet, none for multifamily	None	60', none for multifamily	None
Minimum area per residential dwelling unit	1,800 sq. ft.	800 sq. ft. , 500 sq. ft. for multifamily	500 sq. ft.	800 sq. ft. , 500 sq. ft. for multifamily	500 sq. ft.
Maximum lot coverage	65%	75%	75%	75%	75%
Maximum FAR for non-residential uses	None	None	2.0	None	2.0
Maximum Residential Density (per net acre)	6.2 units/acre	10.8 units/ acre single family detached/ NA for multifamily	NA	10.8 units/ acre for single family detached/ NA for multifamily	NA
Minimum mixed use ratio	NA	NA	No less than 50% of the first floor units of multifamily structures in the Mixed Use Residential Zone, facing Montgomery Blvd and Street 5, must be retail ready. <sup>11</sup> If Block B is developed under a mixed-use plan, then no primary use may exceed 90% of the development within Block B.	NA	NA

- <sup>4</sup> For a situation where the side of one house is across the street from the front of another, the Setback may be allowed to differ in order to create a varied street condition: per approval through the Flexible Design Standards.
- <sup>5</sup> Air conditioning units may not be placed in side yards less than 7'.
- <sup>6</sup> Subject to adjacent Setback and Firewall requirements in the Building code.
- <sup>7</sup> Rear yard setback is for front entry lots only. Rear entry garages must comply with the standards in Section H.1.b for the Neighborhood Character Zone and Section H.2.b for the Transition Character Zone.
- <sup>8</sup> Building rear setback measured from property line unless there is alley access in which case the setback is measured from the edge of alley pavement to be congruent with rear garage setback.
- <sup>9</sup> Subject to Building Code separation requirements. The garage setback is measured to the face of wall and not the garage door.
- <sup>10</sup> Subject to Building Code separation requirements.
- <sup>11</sup> "Retail Ready" means space constructed at a minimum interior height of 14 feet which may be used for nonretail uses and can be converted into retail use. Prior to the issuance of a certificate of occupancy for a retail use in a "Retail-Ready" space, the space must comply with all building and construction codes for retail use. The intent of "Retail-Ready" space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail uses in accordance with the market.

## H. CHARACTER ZONE STANDARDS:

### 1. NEIGHBORHOOD CHARACTER ZONE

- a. **Base Zoning District:** The base zoning district for the Neighborhood Character Zone is “R-7”, Single Family Residential.
- b. **Parking, Garages & Fences:** The location, configuration, spacing, and construction of off-street parking, garages, and fences within the Neighborhood Character Zone shall conform to the ALDC except as modified below:

<b>Parking, Garages &amp; Fences</b>	
<b>Parking and Fence Placement</b>	
<p>The diagram shows a property layout with a street at the bottom, an alley at the top, and a sidewalk/landscape strip on the right. Two yellow rectangles represent rear garages: one with a 20' setback (labeled R) and one with a 5' setback (labeled Q). A grey rectangle represents a J-swing garage (labeled N). A yellow rectangle represents a front setback garage (labeled O). A dashed red line indicates a fence line (labeled S and T). Arrows indicate setbacks from the property line/ROW, street, and sidewalk/landscape strip.</p>	<p>Front</p> <ul style="list-style-type: none"> <li>▪ J-swing garage setback 10 feet; or <b>N</b></li> <li>▪ Face of garage door a min. 3 feet behind the building façade line along that frontage, and <b>O</b></li> <li>▪ Allowing for at least 20 feet of depth from garage wall exterior to property line if garage door faces street. <b>P</b></li> </ul>
	<p>Rear</p> <ul style="list-style-type: none"> <li>▪ 5 feet from edge of typical pavement or <b>Q</b></li> <li>▪ 20 feet or greater from edge of typical pavement<sup>12</sup> <b>R</b></li> </ul> <p><sup>12</sup> Rear-loaded lots contiguous to Phase 1 of Montgomery Ridge must have rear garage setbacks of 20 feet or greater.</p>
	<p>Fence</p> <ul style="list-style-type: none"> <li>▪ 5 feet from edge of typical pavement or <b>S</b></li> <li>▪ 5 feet minimum from face of garage where above ground franchise appurtenances exist (for lots with rear garages with a 5 foot setback) <b>T</b></li> </ul>
<b>Alley/Mews Served Lots</b>	

1. Front-loaded garages shall not be allowed on lots served by an alley/mews.
2. For lots with rear garages with a 5 foot setback, fences in alleys shall be setback not less than 5 feet beyond the face of the garage wall where above-ground franchise appurtenances (meters, transformers, communication pedestals, etc.) will be located clear of alley maneuvering. Gas meters shall be located at structure wall.
3. Side entry, rear garages are not permitted.
4. The garage setback is measured to the face of wall and not the garage door. This note shall be place on the final plat for properties in the Neighborhood Character Zone.

#### Driveways

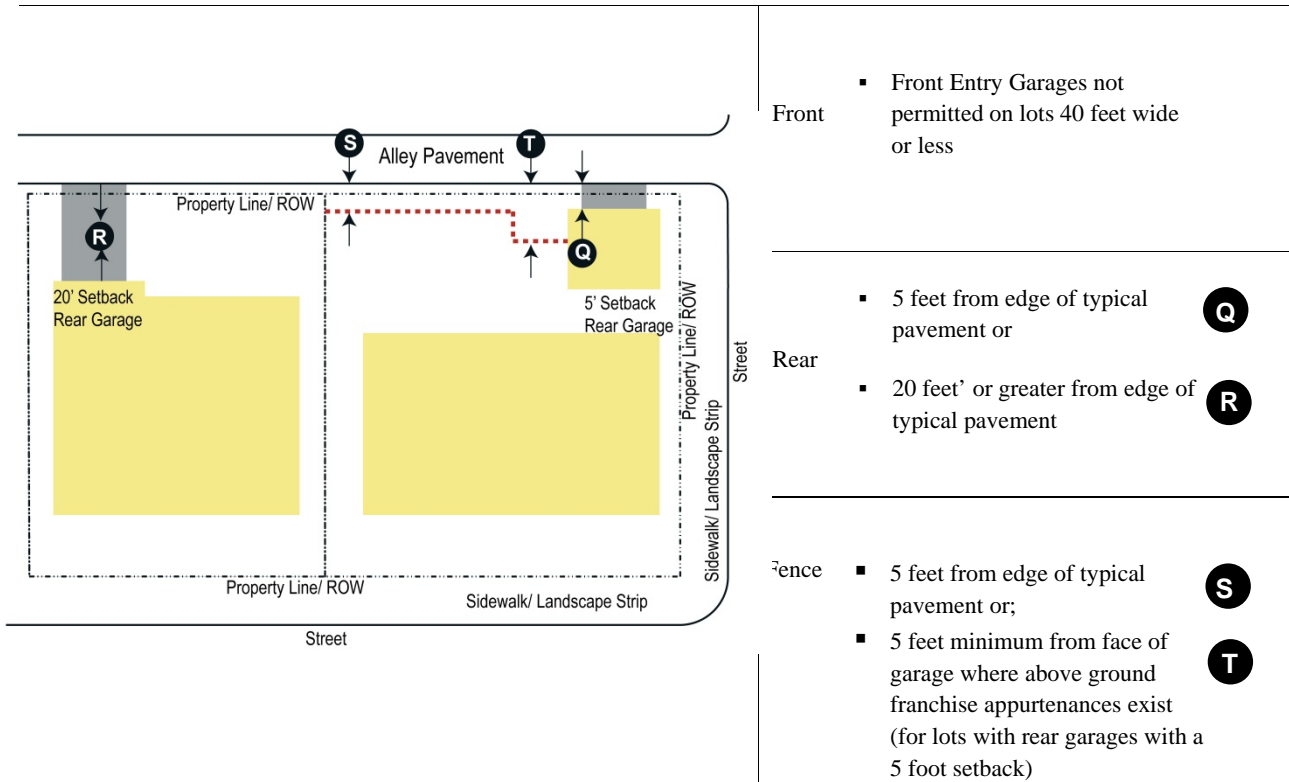
1. Driveways shall allow space for utilities and waste collection.
2. Front entry driveways shall have colored concrete with a color mix that is uniformly colored throughout and not sprayed, overlaid or otherwise applied to top layers. Stamped surfaces are permitted. Decorative treatment of driveways shall be limited to private property.
3. Garage doors shall be decorative.

## 2. TRANSITION CHARACTER ZONE

- a. **Base Zoning District:** The base zoning district for the Transition Character Zone is “MF-18” Multifamily Residential District.
- b. **Parking, Garages & Fences:** The location, configuration, spacing, and construction of off-street parking, garages, and fences on the Property shall conform to the ALDC except as modified below:

### Parking, Garages & Fences

#### Parking and Fence Placement for Single Family Residential Use



#### Alley/Mews Served Lots

1. All lots that face an adjacent green must provide on-street parking within a reasonable distance.
2. For lots with rear garages with a 5 foot setback, fences in alleys shall be setback not less than 5 feet beyond the face of the garage wall where above-ground franchise appurtenances (meters, transformers, communication pedestals, etc.) will be located clear of alley maneuvering. Gas meters shall be located at structure wall.
3. Side entry, rear garages are not permitted.
4. The garage setback is measured to the face of wall and not the garage door. This note shall be place on the final plat for single family properties in the Transition Character Zone.

#### Driveways

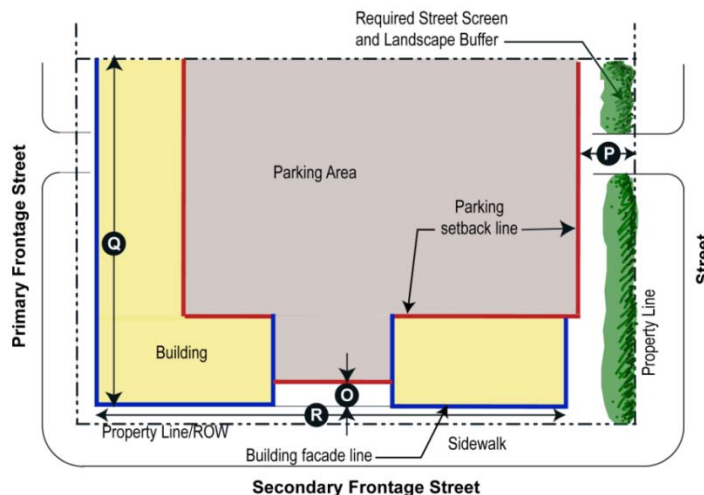
1. Driveways shall allow space for utilities and waste collection.

### 3. MIXED USE (EMPLOYMENT AND RESIDENTIAL) CHARACTER ZONE

- a. **Base Zoning District:** The base zoning district for the Mixed Use (Employment and Residential) Character Zone is “CC” Corridor Commercial District.
- b. **Parking & Garages:** The location, configuration, spacing, and construction of off-street parking & garages on the Property shall conform to the ALDC except as modified below:

#### Parking & Garages

##### Parking Placement



- A minimum of 10 feet behind principal building façade line on a Secondary Frontage Street; or **O**
- 6 feet minimum **P**
- At least one block face must be designated as Primary Frontage **Q**
- At least one block face must be designated as Secondary Frontage- Remaining block faces have no minimum frontage requirement. **R**

##### Required Off-Street Parking

1. 50% of Structured Parking perimeter must be placed behind principal building façade.

#### **4. MIXED USE FLEX CHARACTER ZONE**

- a. Land designated as “Mixed Use Flex” on the Concept Plan may develop in accordance with the development regulations identified above for the Mixed Use (Employment and Residential) Character Zone or the Transition Character Zone. The Base Zoning District for each parcel within the Mixed Use Flex Character Zone shall be the respective Base Zoning District under which said parcel develops. For example, if a parcel in the Mixed Use Flex Character Zone develops under the Mixed Use (Employment and Residential) Character Zone, then the Base Zoning District shall be “CC”, Corridor Commercial District.
- b. Determination of the character zone and development regulations for a tract of land designated “Mixed Use Flex” will be made at the time either (a) a site plan is submitted for said tract of land, or (b) a preliminary plat is submitted for said tract of land.
- c. The land subject to an approved site plan or preliminary plat may only be developed in accordance with the respective development regulations unless, prior to construction on such land, a new site plan or preliminary plat is submitted and approved for such land subject to the previously approved site plan or preliminary plat.

#### **5. DEFINITIONS**

- a. “Principal Building Façade” means the front facade of the main building on a lot.
- b. “Primary Frontage” means the frontage of a lot which shall be designated as the front of the lot, bear the address for the lot and contain the principal entrance into a building on the lot. The principal building façade for a building on such lot shall cover a minimum of 70% of the length of the Primary Frontage.
- c. “Secondary Frontage” means frontage other than the Primary Frontage along which a facade of the principal building on such lot shall cover a minimum of 50% of the secondary frontage.

#### **I. BUILDING MATERIALS:**

1. In addition to building materials defined as “masonry” in the ALDC, cementitious-fiber clapboard (not sheet) with at least a 50-year life warranty shall be deemed to satisfy the masonry requirement.
2. Traditional 3 Coat Stucco shall be allowed for typical use.

#### **J. STREET CLASSIFICATIONS:** This section establishes standards for all elements within the public right-of-way including travel lane(s), on-street parking, streetscape/parkway standards, and sidewalk standards.

1. A license agreement between the City and the Owner or Developer of the Property (or portion thereof) to be developed setting forth the terms, conditions, and obligations of the Developer and

its successors in title (including, but not limited to, any property owners/homeowners association established to own and maintain the common areas developed within the Property or portion thereof) to maintain the parkways in the public right-of-way must be in effect prior to acceptance by the City of Allen Engineering Department of any subdivision developed within the Property.

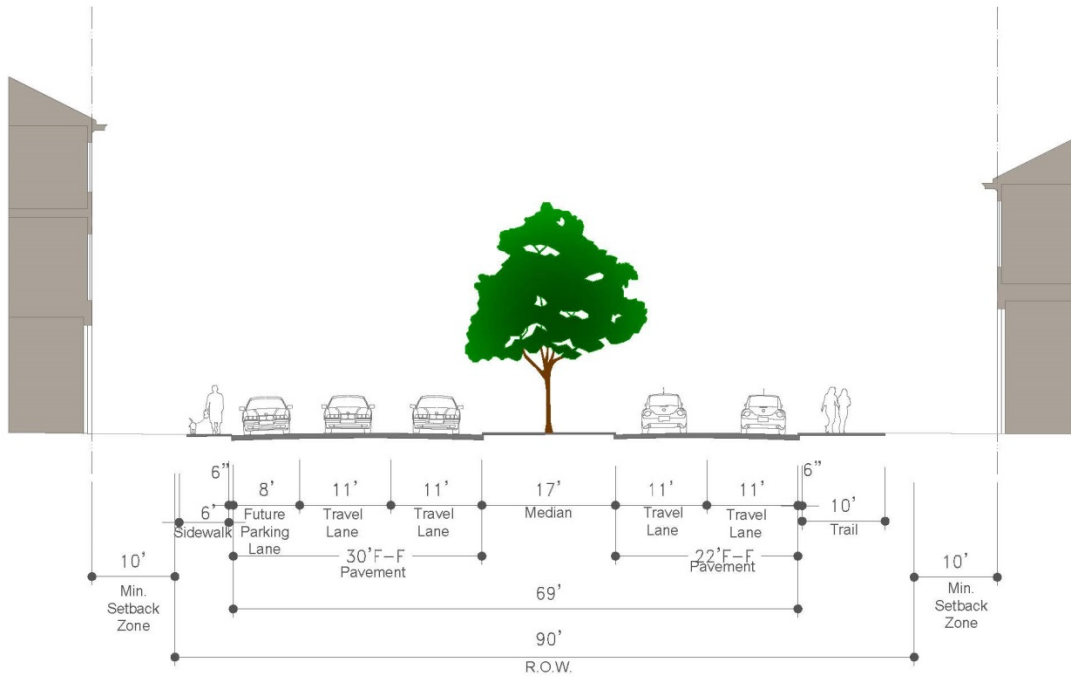
2. Street and alleys within the Property shall be developed in accordance with the cross sections for the street classifications set forth in Table 4 and the related graphics.

**Table 4**  
**Street Classification Summary Table**

Street Classification	Street Width (in feet) (Recommended minimum)			Vehicular Lane Widths (in feet)	On-Street Parking	Sidewalk Width (in feet)	Street Trees
	R.O.W.	Curb to Curb	Pedestrian Zone				
<b>Montgomery Boulevard</b>	90	75 with 17 median	6 on side with parking; 10 on other side	11	Yes, one side, parallel*	6 (min) 10 Trail	Yes
<b>Mixed Use Street</b>	64	38	6	11	Yes, on both sides	6	Yes
<b>Neighborhood</b>	54-62	28-36	15.5	10	Yes, one or both sides, designated bump-out	6 (min)	Yes
<b>Mews Alley</b>	24	16	0	16	None	None	None
<b>Alley</b>	20	16 no raised curbs	0	16	None	None	None

\* Parking along Montgomery Boulevard may be added only after the construction of the roadway and nonresidential development is constructed to front the street. If no nonresidential develops, the street will remain without on-street parking.

## Street Type: Boulevard

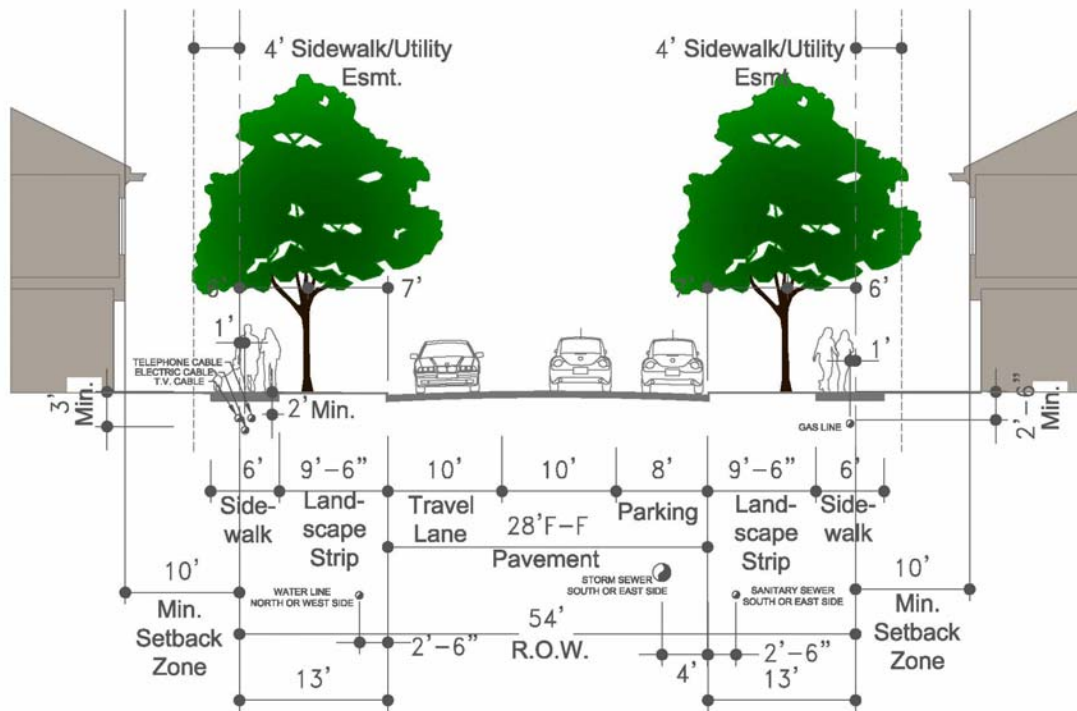


MONTGOMERY BOULEVARD  
STREET CROSS SECTION A-A<sup>13</sup>  
**SECTION 2**

<sup>13</sup>. Proposed 5 foot sidewalk adjacent to Montgomery must also incorporate a 1 foot brick soldier course separation from the back of curb.

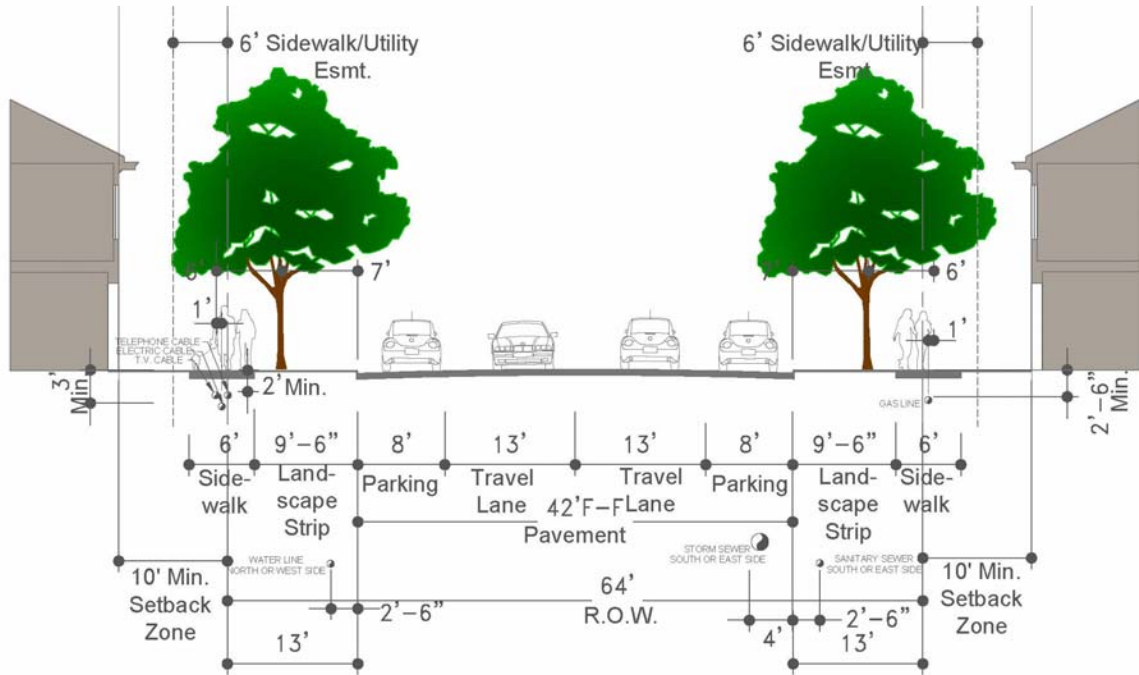


## Street Type: Neighborhood



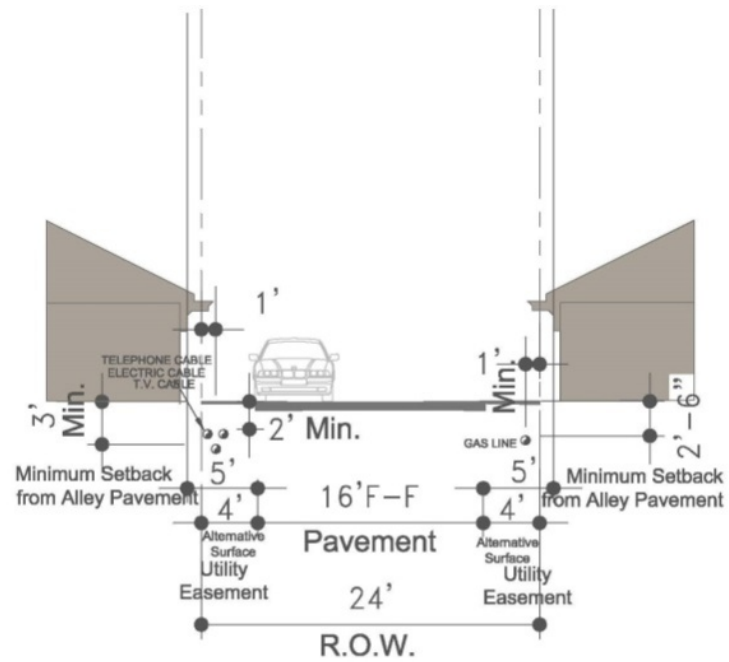
MONTGOMERY RIDGE  
STREET CROSS SECTION  
NEIGHBORHOOD

**Street Type: Mixed Use Street**



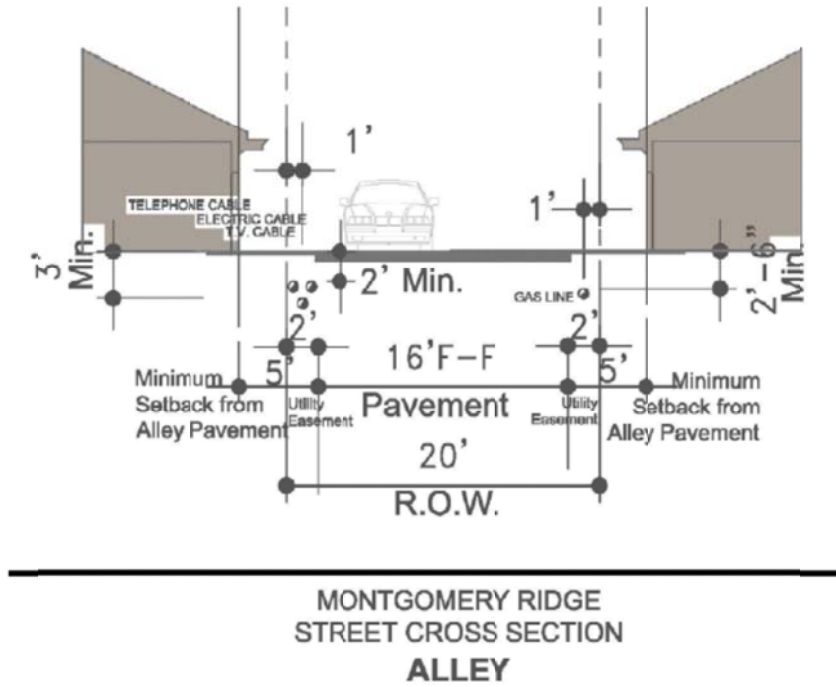
MONTGOMERY RIDGE  
STREET CROSS SECTION  
MIXED USE STREET

**Street Type: Mews Alley**



MONTGOMERY RIDGE  
STREET CROSS SECTION  
**MEWS ALLEY**

**Street Type: Alley**



**K. STREETSCAPE AND LANDSCAPE STANDARDS:**

1. Landscaping within the public right-of-way shall be in accordance with the standards in Table 4 and this Paragraph K.
2. Street trees shall be required per the street classifications in Table 4 within the Landscape Strip. The trees shall be selected from those in Table 5.
3. Trees shall be planted not less than 30 feet and not greater than 40 feet apart on center (measured per block face) along all streets as required by Table 4.
4. Street trees may be used to mitigate existing trees that are removed as part of the development process per standards in the ALDC, Article VII, Section 7.06 – Tree preservation.
5. Street trees may be planted after home construction, but must be planted prior to issuance of final inspection for occupancy for each respective home.
6. Street trees shall not be placed near intersections where they may present a sight obstruction.
7. Sidewalks and street trees shall be maintained by a property owners/homeowners association to be established prior to the issuance of the first building permit for the portion of the Property being developed.
8. Substantially enhanced pedestrian crossings, both visually and tactilely, shall be constructed at intersections which intersect Montgomery Boulevard, and entrances to the development. A property owners association or homeowners association shall enter a license with the City whereby said association shall be required to pay the cost for the difference between maintenance of a standard City street pavement and any enhancements.
9. Cluster mailboxes may be used in this development.
10. Landscaping over 2 feet tall may not be placed within the visibility triangles.
11. A 1 foot wide brick soldier course for the 5 foot sidewalk is required for the 10 foot trail and is in addition to the required width of sidewalk or trail.
12. Root barriers shall be required for any street trees within 10 feet of a street or sidewalk.
13. Street trees or trees siding adjacent to any pedestrian surface must have a minimum vertical clearance of 10 foot at maturity.
14. A trail easement is required with an offset of at least 5 feet from the edge of trail anywhere it meanders outside the dedicated City Right-of-way.
15. A 10 foot landscape easement is required on both sides of Montgomery Blvd.

16. Pedestrian amenities, to be maintained by a property owners association or homeowners association, shall be provided, which may include but not be limited to following site furnishings/improvements (e.g., benches, tables, drinking fountains, trash receptacles, planters/ornamental pots, street trees decorative tree grates, bicycle racks and other bicycle amenities, trellis/arbors, artwork/sculpture, outdoor dining, decorative/ornamental railing, decorative and functional lighting, lampposts, decorative way-finding signage, raised pedestrian crossings, banners, decorative/textured pavement, and other pedestrian improvements).

**Table 5**  
**Approved Street Trees**

Medium trees 25-40 feet

<i>Sideroxylonlanuginosum</i>	Chittamwood
<i>Pistaciachinensis</i>	Chinese Pistachio *male selection only
<i>Cupressusarizonica</i>	Arizona Cypress
<i>Diospyrostexana</i>	Texas Persimmon
<i>Diospyrosvirginiana</i>	Common Persimmon
<i>Fraxinustexensis</i>	Texas Ash
<i>Magnolia grandiflora</i> ‘Little Gem’	Little Gem Magnolia

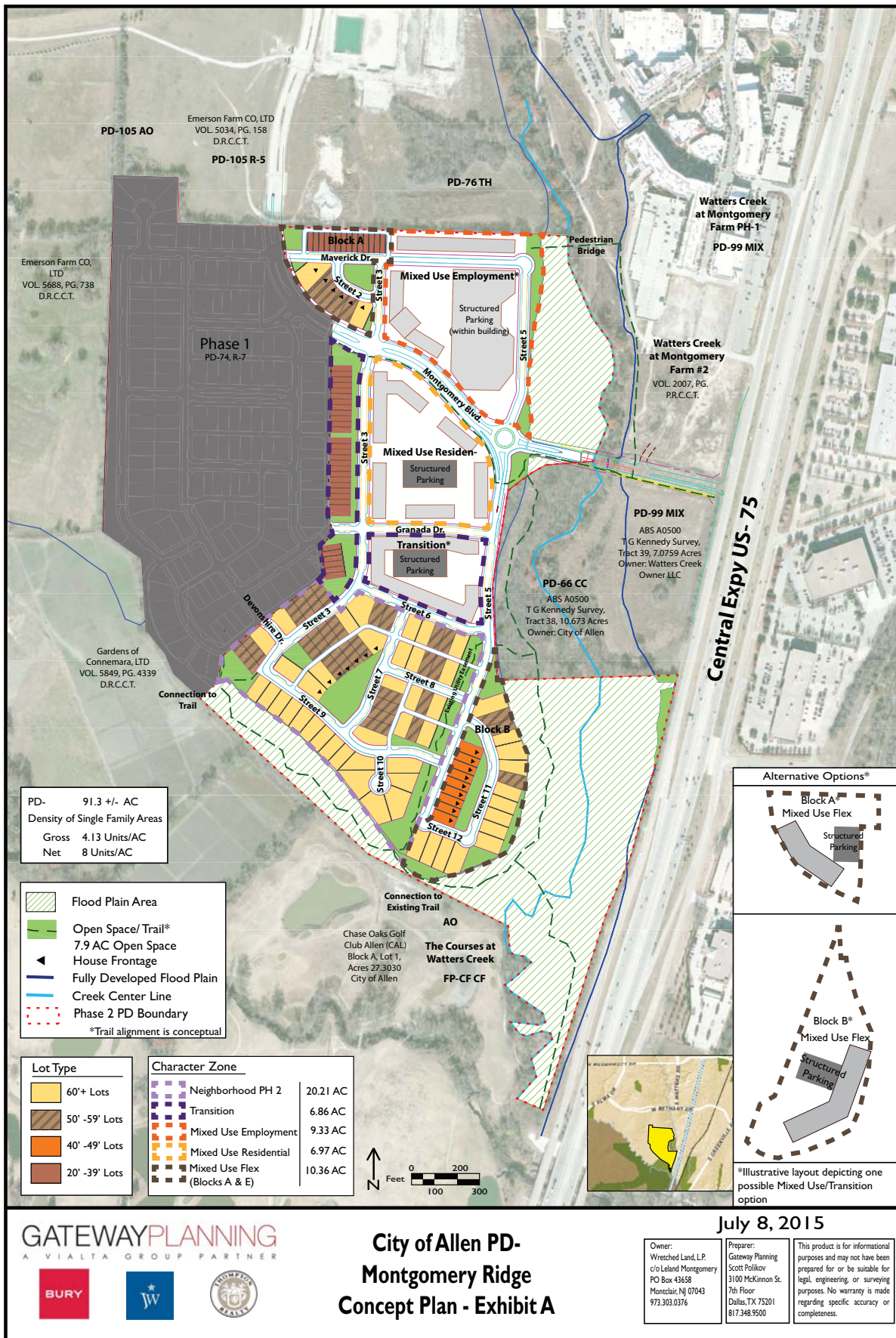
Note: minimum 6 foot planting strip and 30- 40 foot spacing.

Large trees 40 feet and taller

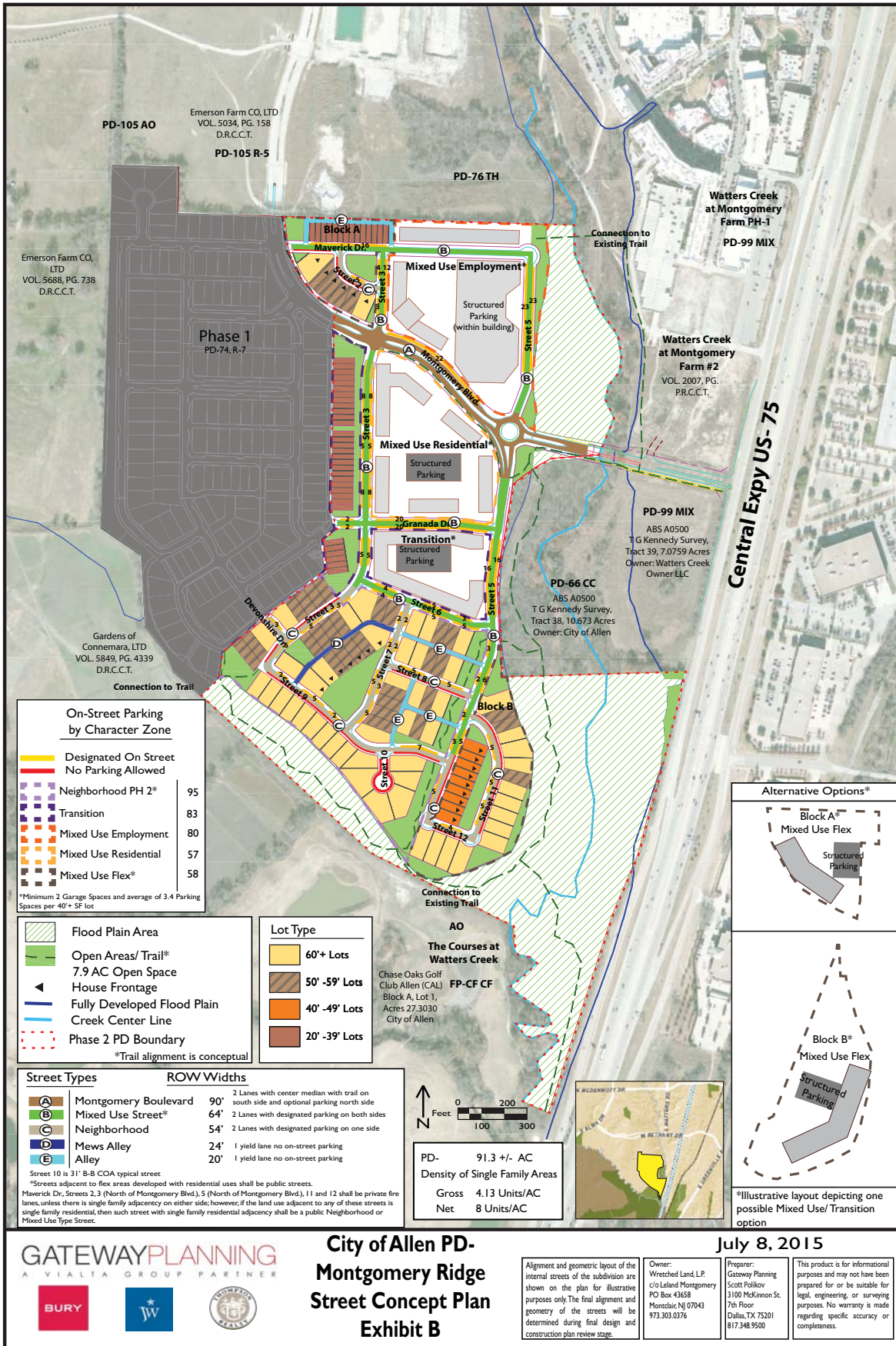
<i>Caryaillinoensis</i>	Pecan
<i>Quercusbuckleyi</i>	Texas Red Oak
<i>Quercuslaceyi</i>	Lacey Oak
<i>Quercusmacrocarpa</i>	Bur Oak
<i>Quercusmuhlenbergii</i>	Chinquapin Oak
<i>Quercuspolymorpha</i>	Mexican White Oak
<i>Quercusshumardii</i>	Shumard Red Oak
<i>Quercusvirginiana</i> ‘Cathedral’	Live Oak ‘Cathedral’
<i>Quercusvirginiana</i> ‘Highrise’	Live oak ‘Highrise’
<i>Ulmusamericana</i> ‘Accolade’	American elm ‘Accolade’
<i>Ulmusamericana</i> ‘Frontier’	American elm ‘Frontier’
<i>Ulmuscassifolia</i>	Cedar Elm

Note: minimum 6 foot planting strip and 30 – 40 foot spacing.

- L. RUNOFF COEFFICIENT:** The runoff coefficient for estimating stormwater flow shall be 0.8 (unless otherwise determined through a detailed impervious area study approved by the Engineering Department) and the Time of Concentration (Tc) shall be 15 minutes.
- M. FLOODPLAIN RECONFIGURATION:** The fully-developed floodplain may be reconfigured in accordance with the Concept Plan, so long as no adverse impact is demonstrated by a flood study indicating no rise in 100-year water surface elevation, no increased velocities, and no decrease in valley storage, approved by the Engineering Department.

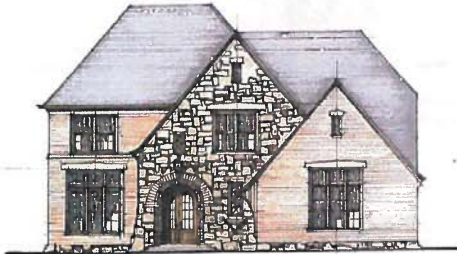








## Building Elevations



Materials: A combination of stone, fiber cement siding, composite shingle.



Materials: A combination of fiber cement siding, composite shingle.



Materials: A combination of stone, brick, fiber cement siding, composite shingle.



Materials: A combination of stone, brick, fiber cement siding, composite shingle.



Materials: A combination of fiber cement siding, composite shingle.



Materials: A combination of brick, fiber cement siding, composite shingle.



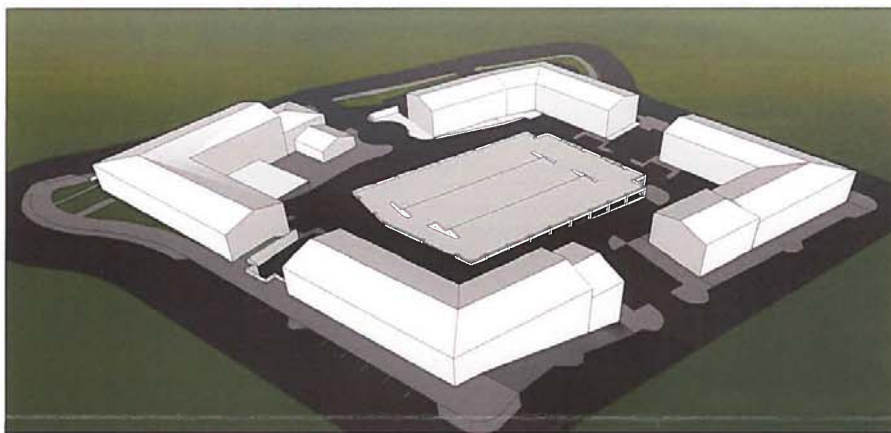
Materials: A combination of brick, composite shingle.



Materials: A combination of stone, brick, composite shingle.



Materials: A combination of brick, fiber cement siding, composite shingle.



Massing showing relationship between buildings and parking garage.