



**AGENDA  
CITY OF ALLEN  
PLANNING AND ZONING COMMISSION  
REGULAR MEETING  
TUESDAY, DECEMBER 6, 2016 – 7:00 P.M.  
CITY COUNCIL CHAMBERS  
ALLEN CITY HALL  
305 CENTURY PARKWAY  
ALLEN, TEXAS 75013**

**Call to Order and Announce a Quorum is Present**

**Pledge of Allegiance**

**Directors Report**

1. Action taken on the Planning & Zoning Commission items by City Council at the November 22, 2016, regular meeting.

**Consent Agenda** *(Routine P&Z business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.)*

2. Approve minutes from the November 15, 2016, regular meeting.
3. Extension Request – Consider a request for a 60-day extension to file the Final Plat for Lot 1, Block A, Allen ISD Elementary 18; being 18.4022± acres, generally located at the southwest corner of Ridgeview Drive and Chelsea Boulevard. (FP-7/1416-54) [Allen ISD Elementary 18]
4. Final Plat – Consider a Final Plat for Montgomery Farm Estates, Phase 1, being 48.831± acres located in the T.G. Kennedy Survey, Abstract No. 500; generally located southeast of Bethany Drive and Brett Drive. (FP-10/10/16-101) [Montgomery Farm Estates, Ph. 1]

**Regular Agenda**

5. Public Hearing/Replat – Conduct a Public Hearing and consider a Replat of Lakeland Marketing Addition, Lot 1, Block 1; generally located at the northwest corner of Main Street and Cedar Drive. (RP-8/1/16-61) [Lakeland Marketing]

6. Public Hearing – Conduct a Public Hearing and consider a request to change the zoning of 10.839± acres located in the Jas T. Roberts Survey, Abstract No. 777 and the Henry Wetsel Survey, Abstract No. 1026; generally located south of Stacy Road and east of Greenville Avenue, from Shopping Center “SC” to a Planned Development for Townhome Residential “TH”, and adopt Development Regulations, a Concept Plan, Hardscape Plan, and Building Elevations. (Z-9/16-16-87) [Stacy Villas]

### **Executive Session (As Needed)**

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

### **Adjournment**

This notice was posted at Allen City Hall, 305 Century Parkway, Allen, Texas, at a place convenient and readily accessible to the public at all times. Said notice was posted on Friday, December 2, 2016 at 5:00 pm.

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Shelley B. George, City Secretary

Allen City Hall is wheelchair accessible. Access to the building and special parking are available at the entrance facing Century Parkway. Requests for sign interpreters or special services must be received forty-eight (48) hours prior to the meeting time by calling the City Secretary at 214-509-4105.

### **Director's Report from 11/22/2016 City Council Meeting**

- The request to conduct a Public Hearing and Adopt an Ordinance Amending the Development Regulations of District E of Planned Development No. 108 and Adopt a Concept Plan and Building Elevations Relating to the Use and Development of a 9.661+/- Acre Portion of Land Generally Located South of Allen Drive and West of US Highway 75. [Pinstack - Entertainment Center], was approved.
- The request to conduct a Public Hearing and Adopt an Ordinance Approving Specific Use Permit No. 150 for a Minor Automotive Repair Use for Lot 12, Block A, Greenville Center Addition, Generally Located South of Stacy Road and West of Greenville Avenue. [Brakes Plus - Tire Sales and Services], was approved.
- The request to continue the Public Hearing and Adopt an Ordinance Amending the Zoning from Single-Family Residential R-3 to a Planned Development for Townhome Residential District TH, and Adopt a Concept Plan, Open Space Plan, Development Regulations and Building Elevations; for a 6.245± Acre Tract of Land, Generally Located South of Main Street and East of Greenville Avenue. [Ashwood Creek Place - Townhome Development], was approved.



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**PLANNING AND ZONING COMMISSION**

**Regular Meeting  
November 15, 2016**

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**ATTENDANCE:**

**Commissioners Present:**

Jeff Cocking, Chair  
Stephen Platt, Jr., 2<sup>nd</sup> Vice-Chair  
John Ogrizovich  
Luke Hollingsworth  
Michael Orr

**Absent:**

Ben Trahan, 1<sup>st</sup> Vice-Chair  
Shirley Mangrum

**City Staff Present:**

Ogden "Bo" Bass, AICP, Director of Community Development  
Joseph Cotton, PE, Assistant Director of Engineering  
Brian Bristow, Assistant Director of Parks and Recreation  
Madhuri Mohan, AICP, Senior Planner  
Meredith Nurge, Planner

**Call to Order and Announce a Quorum is Present:**

With a quorum of the Commissioners present, Chairman Cocking called the meeting to order at 7:00 p.m. in the City Hall Council Chambers Room at Allen City Hall, 305 Century Parkway.

**Director's Report**

1. Action taken on the Planning & Zoning Commission items by City Council at the November 8, 2016, regular meeting, attached.

**Consent Agenda** (*Routine P&Z business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.*)

2. Approve minutes from the November 1, 2016, regular meeting.
3. Capital Improvement Program (CIP) Status Report.
4. Final Plat – Consider a Final Plat for Bethany Pet Hospital, Lots 1, 2, & 3, Block 1; being 7.013+/- acres, generally located at the northeast corner of Bethany Drive and Heritage Parkway. (FP-10/10/16-100) [Bethany Pet Hospital]

**Motion:** Upon a motion by 2<sup>nd</sup> Vice-Chair Platt, and a second by Commissioner Ogrizovich, the Commission voted 5 IN FAVOR, and 0 OPPOSED to approve the Consent Agenda.

**The motion carried.**

### **Regular Agenda**

5. Public Hearing/Residential Replat – Conduct a Public Hearing and consider a Residential Replat for Lots 1-3, Block E, The Village at Twin Creeks Phase One; generally located south of Margo Drive and west of Kennedy Drive. (RP-9/6/16-82) [Twin Creeks Phase One]

Ms. Meredith Nurge, Planner, presented the item to the Commission. She stated that the item is a Residential Replat for Lots 1-3, Block E, The Village at Twin Creeks Phase One. The subject property is generally located south of Margo Drive and west of Kennedy Drive. It is zoned Planned Development PD No. 108 for Single Family Residential SF. The properties to the north, east, south, and west are also zoned Planned Development PD No. 108 for Single Family Residential SF.

Ms. Nurge said that the purpose of this replat is to relocate the common lot lines between Lots 1 and 2, Block E, and Lots 2 and 3, Block E, respectively. All other conditions remain the same. There are no impacts to existing utilities, structures, setbacks, or zoning regulations.

The replat has been reviewed by the Technical Review Committee and meets the standards of the Allen Land Development Code.

Chairman Cocking opened the Public Hearing.

Chairman Cocking closed the Public Hearing.

**Motion:** Upon a motion by Commissioner Ogrizovich, and a second by Commissioner Orr, the Commission voted 5 IN FAVOR, and 0 OPPOSED to approve the Residential Replat for Lots 1-3, Block E, The Village at Twin Creeks Phase One; generally located south of Margo Drive and west of Kennedy Drive. (RP-9/6/16-82) [Twin Creeks Phase One]

**The motion carried.**

6. Public Hearing – Conduct a Public Hearing and consider a request to amend the Development Regulations and adopt a Concept Plan and Building Elevations, for Lot 1, Block A, Allen Station Business Park #3; generally located north of Exchange Parkway and east of Andrews Parkway (and commonly known as 420 E. Exchange Parkway). (Z-8/26/16-74) [WatchGuard Video]

Ms. Mohan, Senior Planner, presented the item to the Commission. She stated that the item is a PD Amendment for WatchGuard Video. The property is generally located north of Exchange Parkway and east of Andrews Parkway (and commonly known as 420 E. Exchange Parkway). The properties to the north and west (across Andrews Parkway) are zoned Planned Development PD No. 58 Light Industrial LI. The property to the south (across Exchange Parkway) is zoned Planned Development PD No. 58 Community Facilities CF, the location of the Don Rodenbaugh Natatorium and the Allen ISD stadium. The property to the east is zoned Planned Development PD No. 58 Multi-Family MF.

The property is currently zoned Planned Development PD No. 58 Light Industrial LI. The applicant is proposing to develop the 12.139± acre lot for a WatchGuard Video facility, and amend the Development Regulations, adopt a Concept Plan, and Building Elevations for the property. Ms. Mohan said that there is an existing WatchGuard Video facility at 415 Century Parkway. The applicant is currently leasing the 415 Century Parkway location and wishes to relocate to the subject property.

Ms. Mohan said that the site will be developed in two phases. Phase I will include the 140,000 square foot proposed building. The building will be two stories with a maximum height of 42.5 feet. Phase II will add an additional 60,000 square feet to the site. This Phase II building will either be an expansion to the Phase I building or constructed as a separate building.

The total parking provided (for the build out of both phases) exceeds the Allen Land Development Code (ALDC) parking requirement. Additionally, two loading areas (with three docks) are proposed for the building on Phase I. These loading areas are located on the northern side of the building, and meet the required number of loading areas per the ALDC.

There are two points of access into the development; one on Exchange Parkway and one on Andrews Parkway. The developer will also be installing deceleration lanes on Exchange Parkway and Andrews Parkway. A 5' sidewalk will also be constructed along Andrews Parkway.

The building elevations show concrete, aluminum, and glass storefront as the primary exterior building materials.

Ms. Mohan summarized the Proposed Development Regulations:

- Base Zoning District: LI
- Concept Plan: The Property shall be developed in general conformance with the Concept Plan.
- Building Elevations: The Property shall be developed in general conformance with the height, materials, and architectural style shown in the Building Elevations.
- Setbacks:
  - Front Yard Setback (Andrews Parkway): 85'
  - Parking Setback (Andrews Parkway): 15'
  - Parking Setback (Exchange Parkway): 25'
- Street Improvements: The Developer shall install deceleration lanes on Exchange Parkway and Andrews Parkway. No CO shall be issued until completion of construction and acceptance by Engineering.
- Driveways: Driveway throat lengths and spacing shall be constructed as shown on the Concept Plan.
- Flood Study: Any improvements on any area of the Property located within the regulatory flood plain is subject to approval of a flood plain study by the City of Allen Engineering Department and requires approval by FEMA (through a CLOMR and LOMR)
  - The CLOMR shall be approved prior to any grading or development permit that impacts the floodplain.
  - A LOMR shall be approved prior to a CO for any building or improvements that encroaches the floodplain.
  - An environmental study is required prior to any disturbance of wetland or treed areas.

The PD Amendment request has been reviewed by the Technical Review Committee. Ms. Mohan said that staff received one letter in support of the request.

Commissioner Orr asked if there would be fencing between the Multi-Family property and the subject property.

Ms. Mohan said yes. The fencing will likely be wrought iron because the property is adjacent to the floodplain (open space).

Chairman Cocking confirmed that the LOMR and CLOMR letters will be approved prior to any permitting or an issuance of a CO.

Ms. Mohan said yes.

Chairman Cocking opened the Public Hearing.

Chairman Cocking closed the Public Hearing.

The following residents submitted citizen responses:

- Joe Jernigan, 1300 Andrews Pkwy., Allen, Texas - Support

**Motion:** Upon a motion by Commissioner Hollingsworth, and a second by 2<sup>nd</sup> Vice-Chair Platt, the Commission vote 5 in favor and 0 opposed to approve the request to amend the Development Regulations and adopt a Concept Plan and Building Elevations, for Lot 1, Block A, Allen Station Business Park #3; generally located north of Exchange Parkway and east of Andrews Parkway (and commonly known as 420 E. Exchange Parkway). (Z-8/26/16-74) [WatchGuard Video]

The motion carried.

### **Executive Session (As Needed)**

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

### **Adjournment**

The meeting adjourned at 7:15 p.m.

These minutes approved this \_\_\_\_\_ day of \_\_\_\_\_ 2016.

\_\_\_\_\_  
Jeff Cocking, Chairman

\_\_\_\_\_  
Meredith Nurge, Planner

**Director's Report from 11/8/2016 City Council Meeting**

- The request to conduct a Public Hearing and adopt an Ordinance to establish Planned Development No. 125 and adopt Development Regulations, a Concept Plan, and Building Elevations, for Lot 1, Block A, Allen High School Addition, and a 6.248+/- acre portion of land situated in the Peter Wetsel Survey, Abstract No. 990, generally located north of Main Street and east of Jupiter Road, for Lowery Freshman Center was approved.
- The request to conduct a Public Hearing and adopt an Ordinance amending the Development Regulations for Planned Development No. 54 and adopt a Concept Plan, Landscape Plan, and Building Elevations for a 2.387± acre tract of land generally located northeast of Walmart Supercenter, south of Curtis Lane and west of US Highway 75, for Tru by Hilton Hotels was approved.
- The request to conduct a Public Hearing and adopt an Ordinance Amending Planned Development No. 73 to change the Base Zoning from Shopping Center to Single-Family Residential R-7, and adopt a Concept Plan, Building Elevations, and Development Regulations, relating to a 19.4817+/- acre portion of Lot 2A, Block B, The Village at Allen, for St. Andrews Park was approved.



<b>PLANNING &amp; ZONING COMMISSION AGENDA COMMUNICATION</b>
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**AGENDA DATE:** December 6, 2016

**SUBJECT:** Extension Request – Consider a request for a 60-day extension to file the Final Plat for Lot 1, Block A, Allen ISD Elementary 18; being 18.4022± acres, generally located at the southwest corner of Ridgeview Drive and Chelsea Boulevard. (FP-7/14/16-54) [Allen ISD Elementary 18]

**STAFF RESOURCE:** Madhuri Mohan, AICP  
Senior Planner

**PREVIOUS COMMISSION/COUNCIL ACTION:** Alternative Screening Request - Approved June, 2016  
General Development Plan - Approved July, 2016  
Preliminary Plat - Approved September, 2016  
Final Plat - Approved October, 2016

**BACKGROUND**

The *Allen Land Development Code*, Section 8.03.4, Paragraph 5, states that a Final Plat/Replat shall expire if not filed of record within 90 days of approval. However, the Planning & Zoning Commission, at its discretion, may grant an extension of time not to exceed sixty (60) days.

The Final Plat for Lot 1, Block A, Allen ISD Elementary 18, was approved on October 4, 2016. The applicant has submitted a request for a 60-day extension of approval to allow more time to obtain offsite easements and finalize the Plat for recording purposes. With this extension, the Final Plat would expire on March 3, 2017.

**STAFF RECOMMENDATION**

Staff recommends approval of the 60-day extension of the Final Plat to March 3, 2017.

**RECOMMENDED MOTION**

*I make a motion to approve the 60-day extension for recording the Final Plat for Lot 1, Block A, Allen ISD Elementary 18.*

**ATTACHMENTS**

Letter from Applicant Requesting Extension



## **CORWIN ENGINEERING, INC.**

200 W. Belmont • Suite E • Allen, TX 75013  
(972) 396-1200 • FAX (972) 396-4987

November 14, 2016

Planning & Development Department  
City of Allen  
305 Century Parkway  
Allen, TX 75013

Re: Allen ISD Elementary 18

To Whom It May Concern,

Please consider this letter our request for an extension to the expiration date of the above-referenced plat which is set to expire on January 2, 2017. This extension is needed to provide more time for Allen ISD to obtain offsite easements.

Sincerely,

Brandon Davidson, P.E.  
Corwin Engineering, Inc.

<b>PLANNING &amp; ZONING COMMISSION AGENDA COMMUNICATION</b>
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**AGENDA DATE:** December 6, 2016

**SUBJECT:** Consider a Final Plat for Montgomery Farm Estates, Phase 1, being 48.831± acres located in the T.G. Kennedy Survey, Abstract No. 500; generally located southeast of Bethany Drive and Brett Drive. (FP-10/10/16-101) [Montgomery Farm Estates, Ph. 1]

**STAFF RESOURCE:** Meredith Nurge  
Planner

**PREVIOUS COMMISSION/  
COUNCIL ACTION:** Planned Development PD No. 105 Approved – June, 2010  
Planned Development PD No. 105 Amended – January, 2016  
Preliminary Plat Approved – June, 2016

**LEGAL NOTICES:** None.

**ANTICIPATED CITY COUNCIL DATE:** None.

### **BACKGROUND**

The property is generally located southeast of Bethany Drive and Brett Drive. The property to the north (across Bethany Drive) is zoned Planned Development PD No. 76 Single-Family Residential R-5. The property to the west is zoned Planned Development PD No. 96 Single-Family Residential R-4 and Agriculture-Open Space AO. The property to the south is zoned Planned Development PD No. 105 Single-Family Residential R-7 and Agriculture-Open Space AO. The properties to the east are zoned Planned Development PD No. 105 Single-Family Residential R-5 and Planned Development PD No. 74 Single-Family Residential R-7.

A Planned Development amendment was approved in January 2016 for Montgomery Farm Estates, a proposed residential development offering diverse lot and housing sizes, architectural styles, and community reserve areas. The Preliminary plat was approved in June 2016. Final platting is the last step in the development process.

The Preliminary plat showed two (2) phases of development. The subject Final plat is for Phase 1, and shows 48.831± acres of land subdivided into 134 residential lots and nine (9) Open Space/HOA lots. There are three (3) access points into the development. There is one (1) access point on Brett Drive (which connects to Bethany Drive). There is one (1) access point on Monica Drive from the property to the west (The Meadow at Montgomery Farm), and one (1) access point on Spencer Street from the property to the east (Angel Field West). The plat also shows ROW dedication and various easements required for development.

The Final Plat has been reviewed by the Technical Review Committee, is generally consistent with the PD Concept Plan, and Preliminary Plat, and meets the requirements of the Allen Land Development Code.

### **STAFF RECOMMENDATION**

Staff recommends approval.

**MOTION**

*I make a motion to approve the Final Plat for Montgomery Farm Estates, Phase 1, generally located southeast of Bethany Drive and Brett Drive.*

**ATTACHMENTS**

Final Plat





<b>PLANNING &amp; ZONING COMMISSION AGENDA COMMUNICATION</b>
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<b>AGENDA DATE:</b>	December 6, 2016
<b>SUBJECT:</b>	Public Hearing/Replat – Conduct a Public Hearing and consider a Replat of Lakeland Marketing Addition, Lot 1, Block 1; generally located at the northwest corner of Main Street and Cedar Drive. (RP-8/1/16-61) [Lakeland Marketing]
<b>STAFF RESOURCE:</b>	Meredith Nurge Planner
<b>PREVIOUS COMMISSION/COUNCIL ACTION:</b>	Amended Plat Approved – July, 1996 Alley Right-of-Way Abandonment - February, 2016 Replat Approved – September, 2016 (Expired December, 2016)
<b>LEGAL NOTICES:</b>	None.
<b>ANTICIPATED CITY COUNCIL DATE:</b>	None.

### **BACKGROUND**

The property is generally located on the northwestern corner of the intersection of Main Street and Cedar Drive. The properties to the north, west, south (across Main Street) and east (across Cedar Drive) are zoned Central Business District CBD.

The property is zoned Central Business District CBD. The existing Lakeland Marketing building is located at 207 E. Main Street. A Site Plan was approved for the existing building as well as a new parking lot addition on a separate lot to the north. The Design Review Committee (*responsible for approval of any new construction, addition, or alteration in the Central Business District*) approved the site in concept in August, 2015. An existing alley between the two lots was abandoned through City Council action at the February, 2016 City Council meeting. Platting these two lots and incorporating the land area within the abandoned alleyway is the last step in the site's overall development process.

The original Replat was approved by the Planning and Zoning Commission on September 6, 2016. However, errors with the legal description and adjacent property description were discovered prior to filing this plat at the County. Since this Replat was not filed within 90 days of Commission approval, it expired. These errors have now been corrected with the Replat being considered at this meeting.

The Replat shows an approximately 0.39± acre lot. There are two (2) access points into the development, both on Cedar Drive.

The Replat has been reviewed by the Technical Review Committee, is consistent with the Site Plan, and meets the standards of the Allen Land Development Code.

### **STAFF RECOMMENDATION**

Staff recommends approval.



**MOTION**

*I make a motion to approve the Replat of Lakeland Marketing Addition, Lot 1, Block 1; generally located at the northwest corner of Main Street and Cedar Drive*

**ATTACHMENTS**

Replat





<b>PLANNING &amp; ZONING COMMISSION</b>	<b>AGENDA COMMUNICATION</b>
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**AGENDA DATE:** December 6, 2016

**SUBJECT:** Public Hearing – Conduct a Public Hearing and consider a request to change the zoning of 10.839± acres located in the Jas T. Roberts Survey, Abstract No. 777 and the Henry Wetsel Survey, Abstract No. 1026; generally located south of Stacy Road and east of Greenville Avenue, from Shopping Center “SC” to a Planned Development for Townhome Residential “TH”, and adopt Development Regulations, a Concept Plan, Hardscape Plan, and Building Elevations. (Z-9/16-16-87) [Stacy Villas]

**STAFF RESOURCE:** Madhuri Mohan, AICP  
Senior Planner

**PREVIOUS COMMISSION/COUNCIL ACTION:** October, 2003 – General Development Plan Approved  
November, 2003 – Preliminary Plat Approved  
August, 2009 – Revised Preliminary Plat Approved  
July, 2011 – Revised Preliminary Plat Approved  
December, 2014 – Revised General Development Plan Approved

**LEGAL NOTICES:** Public Hearing Sign – November 23, 2016  
Public Hearing Notices – November 23, 2016

**ANTICIPATED COUNCIL DATE:** January 10, 2017

**BACKGROUND**

The property is generally located south of Stacy Road and east of Greenville Avenue. The property to the north is zoned Shopping Center SC, and further north (across Stacy Road), is the Town of Fairview. The properties to the east are zoned Community Facilities CF and Single-Family Residential R-7. To the south, the property is zoned Single-Family Residential R-7. The properties to the west are zoned Shopping Center SC, and further west (across Greenville Avenue), zoned Shopping Center SC and Single-Family Residential R-5.

The property is currently zoned Shopping Center SC. The applicant is requesting to change the zoning by creating a Planned Development for a townhome development, and adopting Development Regulations, a Concept Plan, Hardscape Plan, and Building Elevations for the property.

The proposed residential development is approximately 10.839± acres. The attached Concept Plan shows a total of eighty-eight (88) residential lots and six (6) HOA lots. All lots have a minimum lot size of 25'X90' (2,250 square feet) and will be front-entry with a minimum dwelling unit area of 1,300 square feet. The gross lot density equates to 8.11 units/acre.

Of the six HOA lots, four (4) are open space lots. Open Space provided exceeds *ALDC* standards. Pedestrian walkways with seating areas are provided throughout the open space areas. Two 3" caliper shade trees are required for each dwelling unit. A minimum of one tree will be planted on each dwelling unit, and the remaining shade tree will be planted either on the lot with the dwelling unit or within the open space areas of the property.

There are two (2) primary access points into the development; one on Greenville Avenue, and one on Stacy Road through an Access, Utility, and Firelane Easement. Parking within the development will be provided through parking in the garage, driveway, and designated head-in parking areas. Parking along internal roadways is prohibited, and will be marked by curb striping indicating “No Parking.”

The attached Hardscape Plan shows the screening for the property. Perimeter screening consists of an existing eight foot (8') masonry (brick) screening wall on the southern and eastern portions of the property adjacent to the single-family development. An eight foot (8') masonry (brick) screening wall will also be constructed along the northern and western portions of the property adjacent to the commercial lots. Screening on the western side of the development (and a small portion on the northern side of the development) will include an eight foot (8') masonry (stone) wall. Interior screening will consist of six foot (6') ornamental metal fencing.

Primary building materials, shown on the three types of building elevations (attached) are brick and stone with composition shingle roofing. Each of the three elevation types will be used on at least four (out of the 18) buildings in the development. Garage doors and driveways will be enhanced and treated. The maximum building height will be 2 ½ stories or 39'. Any windows on the second floor of the rear elevations of Lots 24-29, Block A, will be opaque glass/privacy windows.

The attached development regulations include design standards to establish the Planned Development, including lot design criteria, garage setback, building height, screening, a no parking provision, and a tree planting regulation.

The request has been reviewed by the Technical Review Committee.

### **STAFF RECOMMENDATION**

Staff recommends approval.

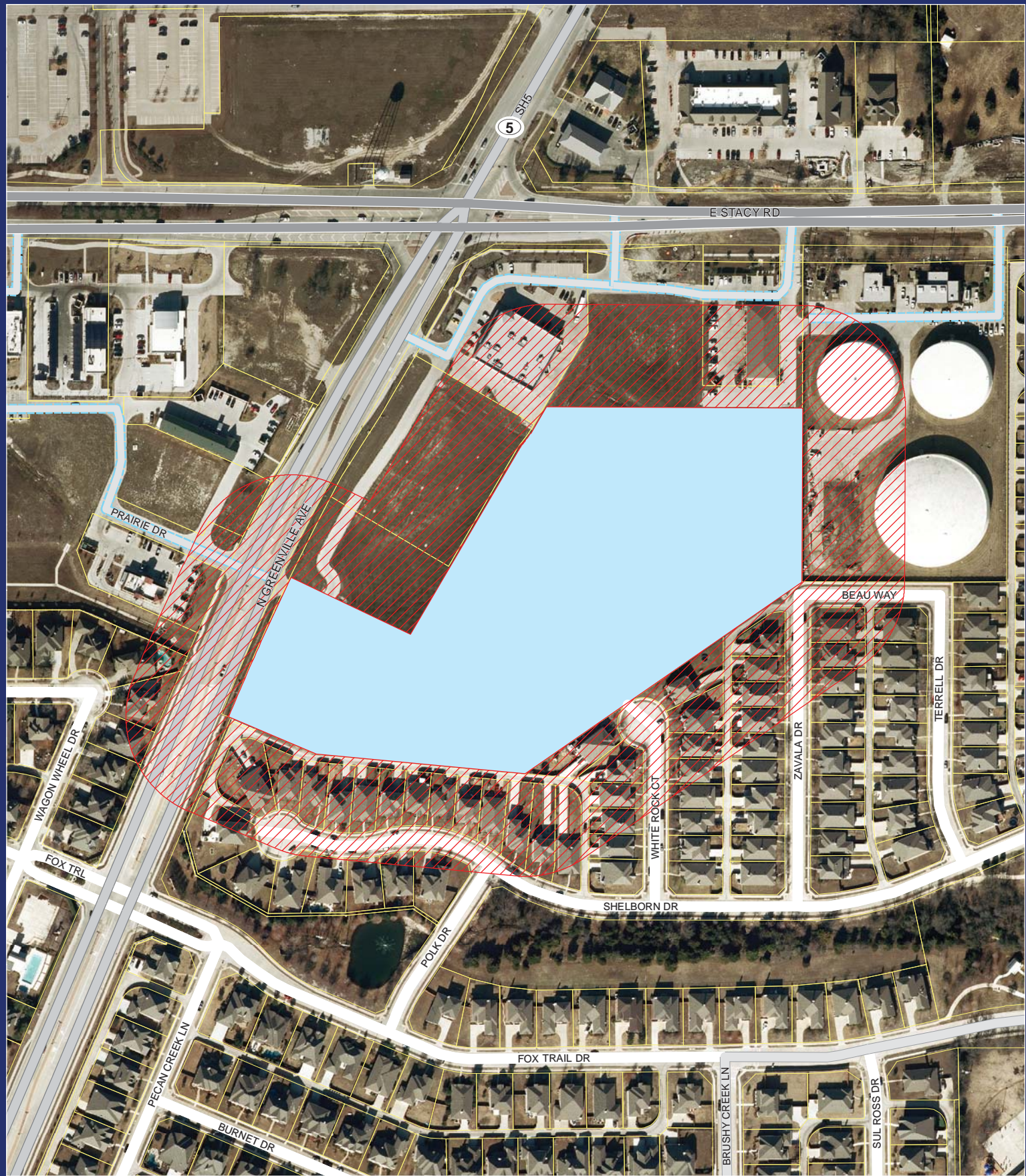
### **MOTION**

***I make a motion to recommend approval of the request to change the zoning of 10.839± acres; generally located south of Stacy Road and east of Greenville Avenue, from Shopping Center “SC” to a Planned Development for Townhome Residential “TH”, and adopt Development Regulations, a Concept Plan, Hardscape Plan, and Building Elevations, for Stacy Villas.***

### **ATTACHMENTS**

Property Notification Map  
Development Regulations  
Concept Plan  
Hardscape Plan  
Building Elevations



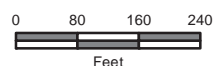


Property Ownership Notification

Stacy Villas

#### Map Legend

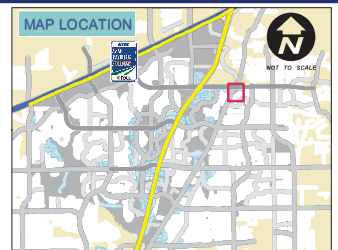
- <all other values>
- PARCELTYPE**
- ABSTRACT
- COA
- RESIDENTIAL
- 200' Notification Buffer
- Railroad
- Public Rezone
- CollinCAD Parcels



Community Development - GIS

Date Saved: 11/2/2016

NOTE: This map is only for illustration purpose only, please contact the City of Allen Planning & Development Department for specific rules and regulations.





## **DRAFT OF PROPOSED DEVELOPMENT REGULATIONS FOR STACY VILLAS**

The Property shall be developed and used in accordance with the applicable provisions of the Allen Land Development Code, as amended, (“ALDC”) except to the extent modified by the Development Regulations set forth below:

- A. BASE ZONING DISTRICT:** The Property shall be developed and used only in accordance with the Townhome Residential District “TH” standards of the ALDC, except as otherwise provided in this Ordinance.
- B. CONCEPT PLAN:** The Property shall be developed in substantial conformance with the Concept Plan attached hereto as Exhibit “A” and incorporated herein by reference. Minor modifications to streets that do not alter the general alignment shown on the Concept Plan may be made at the time of platting.
- C. LOT DESIGN CRITERIA:** The lot design criteria for the Property shall be as follows:
  - (1) Lot Width: The minimum lot width shall be 25’.
  - (2) Lot Area: The minimum lot area shall be 2,250 square feet.
  - (3) Dwelling Unit Size: The minimum dwelling unit size shall be 1,300 square feet of air conditioned space.
- D. GARAGE SETBACK:** Not less than 20 feet (to face of the structure)
- E. BUILDING ELEVATIONS:**
  - (1) The residential units constructed on the Property shall be developed in general conformance with the materials (both in style and mix) and architectural style set forth in the Building Elevations attached hereto as Exhibit “B,” and incorporated herein by reference.
  - (2) Each of the three elevation types shall be used on at least four (out of the 18) buildings in the development.
  - (3) Garage doors shall be metal, patterned with a wood-like texture.
  - (4) The driveways shall be treated with a decorative concrete aggregate, with one of the following finishes:
    - 1. Exposed Aggregate
    - 2. Stained Concrete
    - 3. Salt Finished Concrete
  - (5) Any windows on a second floor of the rear elevation of Lots 24 through 29, Block A, must be opaque glass/privacy window.
- F. BUILDING HEIGHT:** The maximum building height shall be thirty-nine (39) feet.

- G. SCREENING:** Screening on the Property shall be developed in general conformance with the Hardscape Plan attached hereto as Exhibit “C” and incorporated herein by reference. No building permit shall be issued until the fence permit has been issued and construction of the screening wall has commenced. No final building inspections shall be conducted for any building constructed on the Property until the Director of Community Development or designee has determined that construction and installation of all required screening has been completed and conforms to the Hardscape Plan and other applicable city ordinances.
- H. NO PARKING:** No on-street parking is allowed on the Property except where designated head-in parking is provided or anywhere that on-street parking is otherwise authorized by the Fire Marshal. Areas where on-street parking is prohibited must be marked by curb striping indicating “No Parking.”
- I. TREE PLANTING:** No fewer than two (2) shade trees (as defined in Appendix C of the ALDC) with a trunk diameter of not less than three (3) caliper inches at time of planting, shall be planted for each dwelling unit within the Property for which a building permit has been issued. At least one of the required shade trees must be planted on each lot, with the remaining required shade tree to be planted either on the lot with the dwelling unit or within the open space areas of the Property. The Director of Community Development shall have the authority to withhold final inspections of buildings constructed on the Property if it is determined that the required number of shade trees has not been planted as of the date of the suspension. Such suspension shall be lifted upon determination by the Director of Community Development that the required by number of shade trees has been planted.



# **HARDSCAPE LEGEND**

- 8'-0" HT. BRICKCRETE MASONRY WALL  
REFER TO SHEET **C2**
- EXISTING 8'-0" HT. BRICK THINWALL
- 8'-0" HT. BRICK THINWALL SCREEN W/ STONE COLUMN  
REFER TO SHEET **C3**
- 8'-0" HT. STONE WALL  
REFER TO SHEET **C4**
- PEDESTRIAN WALKWAYS WITH BENCHES
- INTERNAL FENCE: MIN. 6'-0" HT. ORNAMENTAL METAL FENCE

PEDESTRIAN WALKWAY WITH SEATING AREA

PEDESTRIAN ACCESS TO ADJOINING LOT WITH ORNAMENTAL METAL GATE

PEDESTRIAN WALKWAY WITH SEATING AREA

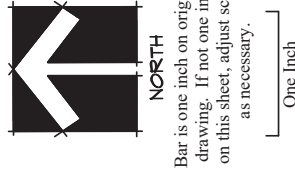
8'-0" HT. BRICKCRETE MASONRY WALL  
REFER TO SHEET **C2**

MAILBOX LOCATION

8'-0" HT. STONE WALL  
REFER TO SHEET **C4**

8'-0" HT. BRICK THINWALL W/ STONE COLUMNS  
REFER TO SHEET **C3**

**NOTE:**  
Two 3" Caliper trees are required for each dwelling unit. One tree shall be planted on the lot and the other shall be dispersed throughout the open spaces. Planting to be installed by builder.

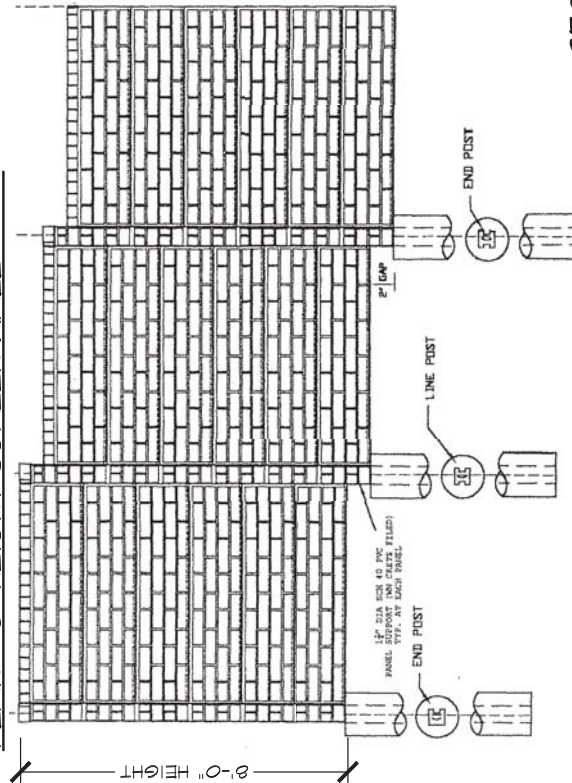
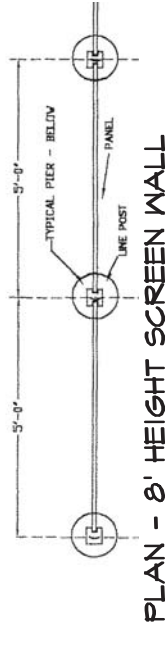


## STACY VILLAS Allen, Texas OVERALL PLAN

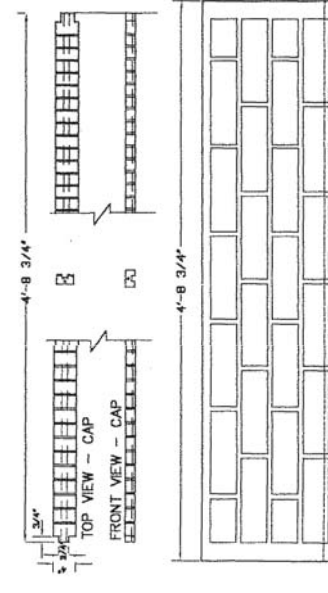
**STUDIO 13 DESIGN GROUP**  
Studio 13 Design Group, PLLC  
386 W. Main Street  
Levellville, Texas 75657  
409-631-1900  
TRAFF #100 #10643





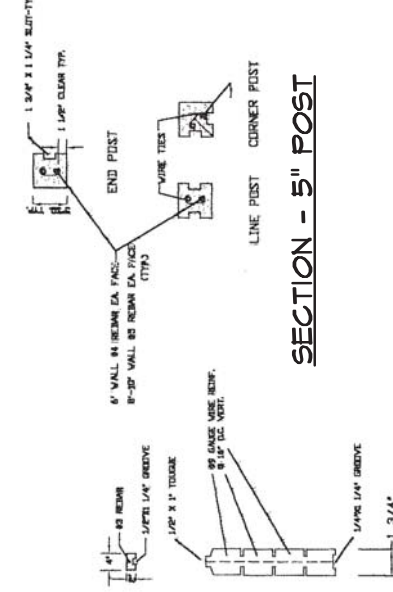


ELEVATION - 8' HEIGHT SCREEN WALL



DETAILS - BRICKCRETE WALL PANEL & CAP

SECTION - 8' SCREENWALL POST



SECTION - 5" POST

**NOTES:**

1. This project has been designed in accordance with the Uniform Building Code, 1997 Edition.
2. Applied loads:
  - a. Wind Velocity  $V$  ..... 100mph
  - b. Exposure  $C_e$  ..... 0.62
  - c. Pressure Coefficient  $C_p$  ..... 1.0
  - d. Importance Factor  $I_v$  ..... 1.0
  - e. Wind Pressure  $P = 0.62(1.40)19.8 = 17.19 \text{ psf}$
  - f. Working Design Stress  $RMS$  ..... 15.5
  - g. Seismic Design ..... Zone 0
3. Product to be manufactured by PremierCrete Products, LLC.
  - a. Address: 9534 Industrial Rd. Justin, Texas 76247
  - b. Phone: 972-445-6558
4. Screening wall is to be constructed entirely on the project property.
5. Color:
  - a. Post and panels shall be integrally colored.
  - b. Color shall be selected by owner.

**Materials:**

1. Concrete Materials:
  - a. Concrete shall be normal weight concrete having dead and gravel or crushed stone aggregates. Mixed with ASTM-C150, type I or II; portland cement to meet the minimum compressive strength as follows:
    - 1. Minimum 28 day strength: 4000 psi
    - 2. Footings & piers: 1000 psi at 28 days.
    - 3. Sidewalk & non-structural: 2000 psi at 28 days.
  - b. Water used for concrete shall be clean water and shall be free of deleterious substances, additives, organic or other deleterious substances.
  - c. All concrete permanently exposed to the weathering shall be finished with a weather-resistant finish.
  - d. All concrete shall be cured and protected with a minimum 5 percent air-entrained air as recommended by the manufacturer.
2. Concrete Workmanship:
  - a. Fresh poured concrete shall be tamped into place steel tamping, sifting tools or mechanical vibrator, until concrete is thoroughly compact and uniformed.
  - b. Concrete shall be finished to the depth noted on the drawings. Leave the bottom bearing surface clean and smooth. If footing excavations are made after the concrete is placed, the concrete shall be used for filling. Remove all loose material from excavations prior to concrete pour.

**Reinforcement:**

1. Reinforcing Materials:
  - a. Reinforcing bars shall conform to ASTM-A 615.
  - b. Steel reinforcing wire shall meet U.S. Steel Wire gauge, ASTM-A 82, fy = 70,000 psi min galvanized.
  - c. All reinforcing bars shall conform to the requirements of ASTM-A 615, grade 60.
  - d. All wire mesh shall be 3 gauge galvanized having 3 horizontal bars and 4 vertical on 16 inch centers.
2. Reinforcing Workmanship:
  - a. Reinforcing bars shall be fabricated in accordance with the CMI standard detail.
  - b. Reinforcing bars shall be cold-bent only.
  - c. Use of heat to bend reinforcement steel shall be thoroughly cleaned before placing and again before the concrete is placed. No brick or piers materials may be used to support the steel off the ground.
  - d. All reinforcement with the following clearances between reinforcing steel and face of concrete:
    - 1. Footing, pier or beam bottom: (2")
    - 2. Sides: (2")
    - 3. Formed footing, pier or beam sides, exposed: (2")
    - 4. Precast exposed to weather: panels (3/4"), splices (1 1/4")
  - e. Splices shall be lap splices. Minimum lap of 30 bar diameters.

**Notes:**

1. Footing size is based on the following minimum soil properties:
  - a. Soil Compaction ..... 90 % std. proctor
  - b. Bearing Capacity ..... 1,500 pcf
  - c. Frictional Resistance ..... 250 paf
  - d. Lateral bearing ..... 300 paf/ft of depth.

Allen, Texas

STACY VILLAS

8'-0" HT. BRICKCRETE SCREENING WALL

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch



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TRAF/100 #R643

Exhibit D  
C2 of 4

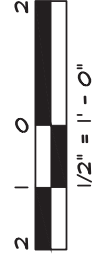
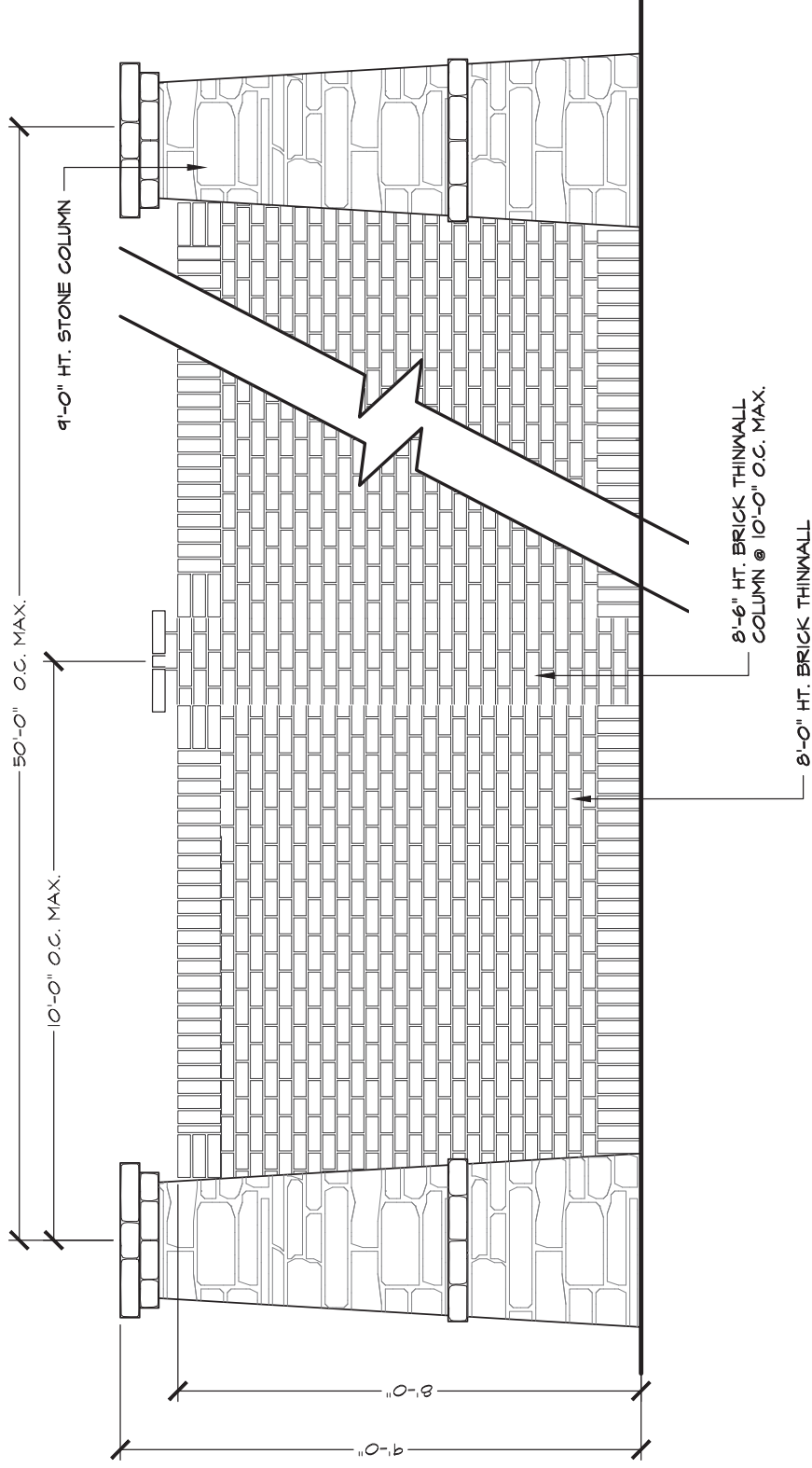
Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch



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TBAE Firm #B643



Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

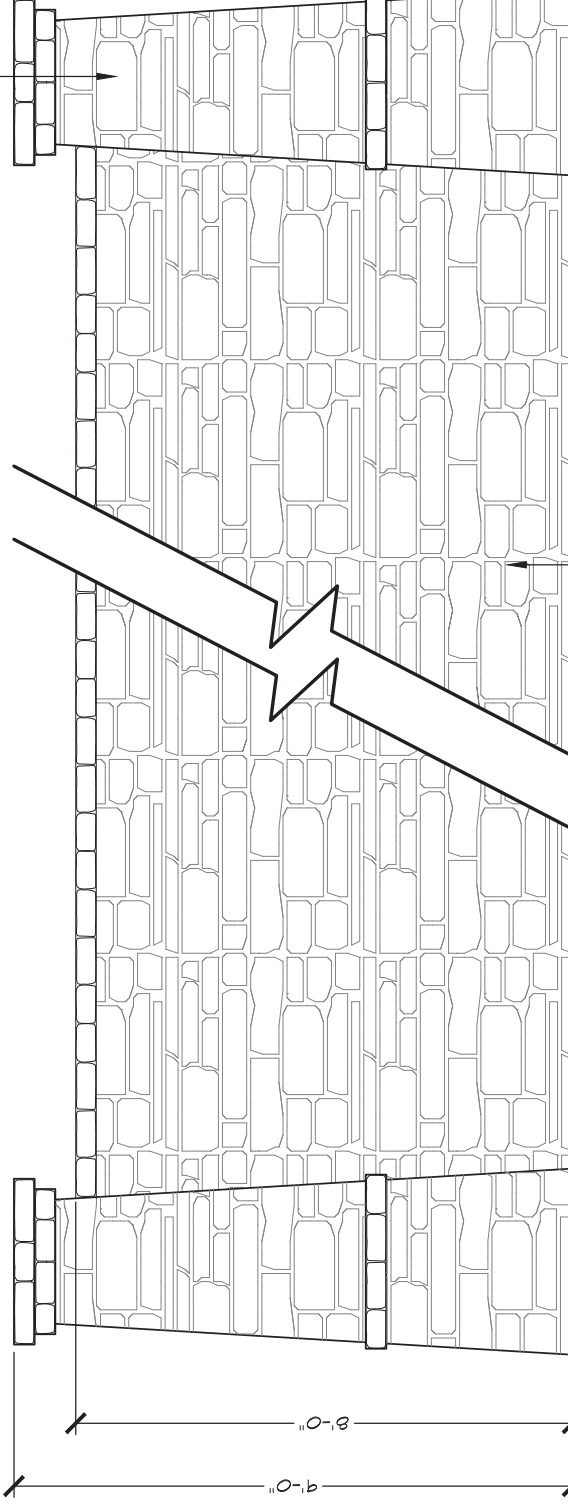


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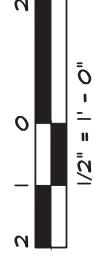
TBAE Firm #B643

Exhibit D  
C4 of 4

9'-0" HT. STONE COLUMN  
TYP.



8'-0" HT. STONE WALL  
TYP.





## ELEVATION A

THIS RENDERING IS CONCEPTUAL ONLY AND SUBJECT TO CHANGE



SHELDON

MACKENZIE

HOLBROOK

MACKENZIE

SHELDON

EXHIBIT "C"





## ELEVATION B

THIS RENDERING IS CONCEPTUAL ONLY AND SUBJECT TO CHANGE



SHELDON

MACKENZIE

HOLBROOK

MACKENZIE

SHELDON

EXHIBIT "C"



## ELEVATION C

THIS RENDERING IS CONCEPTUAL ONLY AND SUBJECT TO CHANGE



SHELDON

MACKENZIE

HOLBROOK

MACKENZIE

SHELDON

EXHIBIT "C"