



**AGENDA
CITY OF ALLEN
PLANNING AND ZONING COMMISSION
REGULAR MEETING
TUESDAY, JANUARY 3, 2017 – 7:00 P.M.
ALLEN PUBLIC LIBRARY
LIBRARY AUDITORIUM
300 NORTH ALLEN DRIVE
ALLEN, TEXAS 75013**

Call to Order and Announce a Quorum is Present

Pledge of Allegiance

Directors Report

1. Action taken on the Planning & Zoning Commission items by City Council at the December 27, 2016, regular meeting.

Consent Agenda *(Routine P&Z business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.)*

2. Approve minutes from the December 20, 2016, regular meeting.
3. Final Plat – Consider a Final Plat for Allen High Point Addition, Block A, Lots 3 and 4, being 1.9175± acres situated in the Henry Wetsel Survey, Abstract No. 1026; generally located north of Exchange Parkway and west of Greenville Avenue. (FP-12/14/16-125) [Allen High Point Addition]
4. Final Plat – Consider a Final Plat for Montgomery Ridge Phase II, being 8.382± acres situated in the Thomas G. Kennedy Survey, Abstract No. 500; generally located south of Montgomery Boulevard and west of US Highway 75. (FP-11/28/160-115) [Montgomery Ridge Phase II]

Regular Agenda

5. Public Hearing/Replat – Conduct a Public Hearing and consider a request for the Replat of Rivercrest Park Addition, being a Replat of Lot 1, Block 1, Bethany Worship Addition; generally located at the northeast corner of Greenville Avenue and Rivercrest Boulevard. (RP-8/16-16-70) [Rivercrest Park]

6. Public Hearing – Conduct a Public Hearing and consider a request for a Specific Use Permit for a Fueling Station use. The property is 0.999± acres out of the Witsaul Fisher Survey, Abstract No. 323; generally located north of Main Street and west of Angel Parkway. (SUP-6/14/16-49) [East Allen Retail]
7. Tabled Item/Public Hearing – Conduct a Public Hearing and consider a request to change the zoning of 10.839± acres located in the Jas T. Roberts Survey, Abstract No. 777 and the Henry Wetsel Survey, Abstract No. 1026; generally located south of Stacy Road and east of Greenville Avenue, from Shopping Center “SC” to a Planned Development for Townhome Residential “TH”, and adopt Development Regulations, a Concept Plan, Hardscape Plan, and Building Elevations. (Z-9/16-16-87) [Stacy Villas]

Executive Session (As Needed)

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

Adjournment

This notice was posted at Allen City Hall, 305 Century Parkway, Allen, Texas, at a place convenient and readily accessible to the public at all times. Said notice was posted on Friday, December 30, 2016 at 5:00 pm.

Shelley B. George, City Secretary

Allen Public Library is wheelchair accessible. Access to the building and special parking are available at the entrance facing Century Parkway. Requests for sign interpreters or special services must be received forty-eight (48) hours prior to the meeting time by calling the City Secretary at 214-509-4105.

Director's Report from 12/27/2016 City Council Meeting

- No meeting was held by City Council on December 27, 2016.



PLANNING AND ZONING COMMISSION

**Regular Meeting
December 20, 2016**

ATTENDANCE:

Commissioners Present:

Jeff Cocking, Chair
Ben Trahan, 1st Vice-Chair
Stephen Platt, Jr., 2nd Vice-Chair
John Ogrizovich
Luke Hollingsworth
Michael Orr
Shirley Mangrum

Absent:

City Staff Present:

Ogden "Bo" Bass, AICP, Director of Community Development
Joseph Cotton, PE, Assistant Director of Engineering
Brian Bristow, Assistant Director of Parks and Recreation
Madhuri Mohan, AICP, Senior Planner
Meredith Nurge, Planner
Julie Doshier, City Attorney
Shelley George, TRMC, CMC, City Secretary

Call to Order and Announce a Quorum is Present:

With a quorum of the Commissioners present, Chairman Cocking called the meeting to order at 7:00 p.m. in the Allen Public Library Auditorium at 300 North Allen Drive.

Chairman Cocking shared the protocols regarding the Planning Zoning Commission Regular Meeting occurring in the Allen Public Library Auditorium. Chairman Cocking said that attendees who wish to address the Commission may step forward to the podium. He stated a microphone is available to accommodate those with functional and access needs who wish to make comments. Chairman Cocking said that the January 3, 2017, Planning and Zoning Commission Regular Meeting would also occur in the Allen Public Library Auditorium.

Directors Report

1. Action taken on the Planning & Zoning Commission items by City Council at the December 13, 2016, regular meeting, attached.

Consent Agenda (*Routine P&Z business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.*)

2. Approve minutes from the December 6, 2016, regular meeting.
3. Capital Improvement Program (CIP) Status Report.

Motion: **Upon a motion by 2nd Vice-Chair Platt, and a second by 1st Vice-Chair Trahan, the Commission voted 7 IN FAVOR, and 0 OPPOSED to approve the Consent Agenda.**

The motion carried.

Regular Agenda

4. Public Hearing/Replat – Conduct a Public Hearing and consider a request for the replat of Bray Central One Addition, Lots 9 & 10, Block F, being a replat of part of Lot 1-R-1, Block F, Bray Central One Addition; generally located south of Allen Drive and west of US Highway 75. (FP-11/11/16-106) [Allen Entertainment - Pinstack]

Ms. Meredith Nurge, Planner, presented the item to the Commission. She stated the item is a Replat of Allen Entertainment – Pinstack. She said that the property is generally located south of Allen Drive and west of US Highway 75. The property to the north (across Allen Drive) is zoned Planned Development PD No. 54 Corridor Commercial CC. The properties to the west (across Raintree Circle), are zoned Planned Development PD No. 54 Industrial Technology IT. The properties to the south are zoned Planned Development PD No. 108 Mixed-Use MIX. To the east (across US Highway 75), the properties are zoned Shopping Center SC, Single-Family Residential R-3, and Single-Family Residential R-4.

The property is currently zoned Planned Development PD No. 108 Mixed-Use MIX. A PD Amendment for an Entertainment Center (Pinstack) was approved in November 2016. A Site Plan for the development is currently being reviewed. Platting is the last step in the development process.

Ms. Nurge said that the Replat shows 9.661± acres, subdivided into two lots. There are six points of access into the development. There are two points of access on Raintree Circle, two points of access on US Highway 75, and two internal cross-access points between Lots 9 and 10. The plat also shows various easements and right-of-way dedication required for development.

The Replat has been reviewed by the Technical Review Committee, is consistent with the PD Amendment Concept Plan, and meets the standards of the Allen Land Development Code.

Chairman Cocking opened the Public Hearing.

Chairman Cocking closed the Public Hearing.

Motion: Upon a motion by Commissioner Hollingsworth, and a second by Commissioner Mangrum, the Commission voted 7 IN FAVOR, and 0 OPPOSED to approve the Replat of Bray Central One Addition, Lots 9 & 10, Block F; generally located south of Allen Drive and west of US Highway 75, for Allen Entertainment – Pinstack.

The motion carried.

Executive Session *(As Needed)*

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

Adjournment

The meeting adjourned at 7:06 p.m.

These minutes approved this _____ day of _____ 2017.

Jeff Cocking, Chairman

Meredith Nurge, Planner

Director's Report from 12/13/2016 City Council Meeting

- The request to conduct a Public Hearing and adopt an ordinance to amend the Development Regulations and adopt a Concept Plan and Building Elevations for Lot 1, Block A, Allen Station Business Park #3; generally located north of Exchange Parkway and east of Andrews Parkway for WatchGuard Video, was approved.

PLANNING & ZONING COMMISSION AGENDA COMMUNICATION
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AGENDA DATE:	January 3, 2017
SUBJECT:	Consider a Final Plat for Allen High Point Addition, Block A, Lots 3 and 4, being 1.9175± acres situated in the Henry Wetsel Survey, Abstract No. 1026; generally located north of Exchange Parkway and west of Greenville Avenue. (FP-12/14/16-125) [Allen High Point Addition]
STAFF RESOURCE:	Madhuri Mohan, AICP Senior Planner
PREVIOUS COMMISSION/ COUNCIL ACTION:	March, 1996 – PD No. 58 Adopted November, 2008 – PD No. 58, Tract 5 Amended January, 2014 – PD No. 58 Amended August, 2014 – Preliminary Plat Approved November, 2016 – Revised Preliminary Plat Approved
LEGAL NOTICES:	None.
ANTICIPATED COUNCIL DATE:	None.

BACKGROUND

The property is generally located north of Exchange Parkway and west of Greenville Avenue. The property to the north and east is zoned Planned Development PD No. 58 Shopping Center SC. The property to the south (across Exchange Parkway) is zoned Planned Development PD No. 58 Community Facilities CF. To the west, the property is zoned Planned Development PD No. 58 Multi-Family MF.

A Concept Plan for a grocery anchor, bank, and fueling station was approved in January 2014. A Preliminary Plat for Lots 1-3, Block A, was approved in August 2014. The bank lot (Lot 3) was further subdivided, with a portion to be developed for a bank and a portion to be developed for a restaurant. A Site Plan for the restaurant was approved in July 2016, and a Site Plan for the bank was approved in November 2016. Thus, a Revised Preliminary Plat showing the subdivision was required and approved in November 2016. The Final Plat is the last step in the development process.

The Final Plat shows approximately 1.918± acres of land subdivided into two (2) lots. There are two (2) primary access points on Exchange Parkway. A 24' Firelane and Access Easement also provides cross-access between the two lots. The plat also shows various easements and right-of-way dedication required for development of the site.

The Final Plat has been reviewed by the Technical Review Committee, is generally consistent with the Concept Plan, Site Plans, and Revised Preliminary Plat, and meets the requirements of the Allen Land Development Code.

STAFF RECOMMENDATION

Staff recommends approval.

MOTION

I make a motion to approve the Final Plat for Allen High Point Addition, Block A, Lots 3 and 4, being 1.9175± acres; generally located north of Exchange Parkway and west of Greenville Avenue.

ATTACHMENTS

Final Plat

PLANNING & ZONING COMMISSION AGENDA COMMUNICATION
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AGENDA DATE: January 3, 2017

SUBJECT: Consider a Final Plat for Montgomery Ridge Phase II, being 8.382± acres situated in the Thomas G. Kennedy Survey, Abstract No. 500; generally located south of Montgomery Boulevard and west of US Highway 75. (FP-11/28/160-115) [Montgomery Ridge Phase II]

STAFF RESOURCE: Madhuri Mohan, AICP
Senior Planner

PREVIOUS COMMISSION/COUNCIL ACTION: October, 1998 – Adopted PD No. 74
August, 2015 – Adopted PD No. 121
March, 2016 – Preliminary Plat Approved

LEGAL NOTICES: None.

ANTICIPATED COUNCIL DATE: None.

BACKGROUND

The property is generally located south of Montgomery Boulevard and west of US Highway 75. The properties to the north (across Montgomery Boulevard), east, and south are zoned Planned Development PD No. 121 for Single-Family Residential R-7, Multi-Family Residential MF-18, and Corridor Commercial CC. The property to the west is zoned Planned Development PD No. 74, Single-Family Residential R-7.

A Planned Development amendment was approved in August 2015 for Montgomery Ridge Phase II, intended to be a unique mixed-use development with office, housing, and retail/commercial uses. The Preliminary Plat was approved in March 2016. The Final Plat is the last step in the development process.

The approved Preliminary Plat showed the entire development (approximately 90.816± acres). The subject Final Plat is for the Townhome piece, which is approximately 8.382± acres. The Final Plat shows 32 residential lots and three (3) open space/HOA lots. There are three (3) access points into the development. There is one (1) access point on Montgomery Boulevard, one (1) access point on a proposed Marian Drive, and one (1) access point on Granada Drive. The plat also shows ROW dedication and various easements required for development.

The Final Plat has been reviewed by the Technical Review Committee, is generally consistent with the PD Concept Plan and Preliminary Plat, and meets the requirements of the Allen Land Development Code.

STAFF RECOMMENDATION

Staff recommends approval.

MOTION

I make a motion to approve the Final Plat for Montgomery Ridge Phase II, being 8.382± acres; generally located south of Montgomery Boulevard and west of US Highway 75.

ATTACHMENTS

Final Plat

[illegible]

NORTH 157'23" EAST, A DISTANCE OF 1.53 FEET TO A BURY CAP FOUND FOR CORNER;
SOUTH 74°47'37" EAST, A DISTANCE OF 64.00 FEET TO A BURY CAP FOUND FOR THE SOUTHEAST CORNER OF SAID 3.840 ACRE TRACT

SOUTH-EASTERLY WITH SUD COURING THE LIFT THROUGH A CENTRAL HALL OF 1975-83; TO AN ARC LIGHT OF 13.32 FEET, SOUTH BEARING 300.500° EAST AND A CROSS DISTANCE OF 18.000 FEET TO A BURY CAP FOUND FOR CORNER;
NORTH 67.727° EAST, A DISTANCE OF 31.98 FEET TO A BURY CAP FOUND FOR CORNER;
NORTH 17.115° EAST, A DISTANCE OF 121.23 FEET TO A BURY CAP FOUND FOR CORNER;
SOUTH 72.48705° EAST, A DISTANCE OF 64.00 FEET TO A BURY CAP FOUND FOR CORNER;
SOUTH 17.115° WEST, A DISTANCE OF 125.90 FEET TO A BURY CAP FOUND FOR CORNER;
SOUTH 19.048° EAST, A DISTANCE OF 34.40 FEET TO A BURY CAP FOUND FOR CORNER.

HENCE, ALONG THE NORTH-HIGHWAY LINE OF SAO 10.6/73 AURE TRACT OF LAND, THE FOLLOWING CALLS
 SOUTH 85/30/21 WEST, A DISTANCE OF 66.39 FEET TO A BURY CAP FOUND FOR CORNER;
 SOUTH 76/30/03 WEST, A DISTANCE OF 33.67 FEET TO A BURY CAP FOUND FOR CORNER;
 SOUTH 61/30/56 WEST, A DISTANCE OF 56.05 FEET TO A BURY CAP FOUND FOR CORNER;
 SOUTH 54/26/24 WEST, A DISTANCE OF 64.32 FEET TO A BURY CAP FOUND FOR CORNER;
 SOUTH 52/03/43 WEST, A DISTANCE OF 67.85 FEET TO A BURY CAP FOUND FOR CORNER;

THENCE ALONG THE COMBINATION OF S40 8.510 ACRES TRACT OF LAND AND S42 3.112 ACRES TRACT OF LAND, THE FOLLOWING CALLS:
NORTH 47°16'41" WEST, A DISTANCE OF 33.44 FEET TO A BURY CAP FOUND FOR THE POINT OF CURVATURE OF A CURVE TO THE RIGHT
HAVING A RADIUS POINT WHICH BEARS NORTH 42°26'22" EAST, A DISTANCE OF 268.42 FEET;
NORTH 1°10'00" WEST, A DISTANCE OF 11.279 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT
HAVING AN ARC LENGTH OF 63.20 FEET, A CHORD BEARING OF NORTH 1°23'50" WEST AND A CHORD DISTANCE OF 34.43 FEET TO A BURY CAP FOUND FOR CORNER;
NORTH 30°04'40" WEST, A DISTANCE OF 26.60 FEET TO A BURY CAP FOUND FOR CORNER;
NORTH 30°04'40" WEST, A DISTANCE OF 26.60 FEET TO A BURY CAP FOUND FOR CORNER.

SOUTH 69°12'23" WEST, A DISTANCE OF 21.21 FEET TO A BURY CA FOUND FOR CORNER;
THENCE DEPARTING SAID COMMON LINE OVER AND ACROSS SAID 8.510 ACRE TRACT OF LAND AND SAID 4.586 ACRE TRACT OF LAND THE FOLLOWING:
SOUTH 157°23" WEST, A DISTANCE OF 83.94 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTIC" (HEREAFTER REFERRED TO AS "STANTIC CAP") SET FOR THE POINT CURVATURE OF CURVE TO THE LEFT HAVING A RADIUS POINT WHICH BEARS SOUTH 149°47'30" EAST, A DISTANCE OF 68.00 FEET.

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[illegible]

NORTH 55°54'32" EAST, A DISTANCE OF 14.31 FEET TO A BURY CAP FOUND FOR CORNER;
NORTH 34°25'07" WEST, A DISTANCE OF 54.00 FEET TO A BURY CAP FOUND FOR CORNER;
NORTH 55°54'32" EAST, A DISTANCE OF 59.63 FEET TO A BURY CAP FOUND FOR CORNER;
NORTH 09°42'43" EAST, A DISTANCE OF 118.82 FEET TO A BURY CAP FOUND FOR CORNER;
NORTH 87°42'08" WEST, A DISTANCE OF 2.03 FEET TO A BURY CAP FOUND FOR CORNER;

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

RESPECTIVE SYSTEM WITHOUT THE NECESSITY AT ANY TIME OF PROCEEDING TO APPEAL.

THIS PLAN IS APPROVED SUBJECT TO ALL PLATING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE CITY OF ALLEN, TEXAS.

WITNESS MY HAND THIS _____ DAY OF _____, 2017.

WHEATCHED LAND, L.P.

of _____, 2017.

 SECRETARY PUBLIC IN AND FOR THE STATE OF _____

COUNTY OF _____ §
BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF _____ DAY OF _____, 2017.

WIL
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CLO
PO
NEL
PH:
CO

BY: _____
DATE: _____
PAGE NO: _____

 CLERK PUBLIC IN AND FOR THE STATE OF NEW JERSEY.

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED IN THE CAPACITY _____, DATED _____, 2017.

OF NEW JERSEY 8
CITY OF ESSEX 8
BY: _____

CITY OF ALLEN
 COUNTY PUBLIC IN AND FOR THE STATE OF NEW JERSEY

2017.

I, _____, of _____
 COUNTY OF _____, STATE OF _____, DO HEREBY CERTIFY THAT
 I AM THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE, ON THIS DAY PERSONALLY APPEARED
 TO ME, THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND I HAVE
 KNOWN THAT THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN
 AND I HAVE BEEN DULY SWORN AND SEAL OF OFFICE THIS _____ DAY
 OF _____, 2017.

LELAND MONTGOMERY
MONTGOMERY, TRUSTEE
LAND, L.P.
MOBILE, AL 36688-0376
PH: (907) 303-0376
CONTACT: PETER VARGAS

LELAND MONTGOMERY
MONTGOMERY, TRUSTEE
LAND, L.P.
ALLEN, TEXAS 75013
PH: (214) 509-4100
CONTACT: PETER VARGAS

MILLERSON E. JOHNSON
BILL JOHNSON
PH: (972) 490-3255
CONTACT: TOM HOUSER

BY: CT MONTGOMERY MANAGEMENT, L.L.C. A TEXAS LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER

ITY PUBLIC IN AND FOR THE STATE OF _____

ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF _____, ON THIS DAY PERSONALLY APPEARED _____, PERSONALLY KNOWN TO ME, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY _____, 2017.

DATE	PRELIMINARY
<p> W. J. MURPHY & SONS 10000 W. 10th Ave., Suite 400 Greenwood Village, CO 80124 MCC CONSULTING SERVICES, INC. 10000 W. 10th Ave., Suite 400 Greenwood Village, CO 80124 </p>	<p> This document shall not be recorded for any purpose. For Review Purposes Only </p>

Y PUBLIC IN AND FOR THE STATE OF TEXAS

MAYOR

DATE _____

THE UNDERSIGNED, THE CITY SECRETARY OF THE CITY OF ALLEN, TEXAS, HEREBY CERTIFIES THAT THE FOREGOING
PLAY OF MONTGOMERY RIDGE, PHASE 2, AN ADDITION TO THE CITY OF ALLEN WAS SUBMITTED TO THE PLANNING
AND ZONING COMMISSION AND APPROVED BY IT ON THE _____ DAY OF _____, 2017.

CITY SECRETARY, CITY OF ALLEN

32 RESIDENTIAL LOTS & 3 OPEN
SPACE/HOA LOTS & RIGHT-OF-WAY
5.314 ACRES OF RIGHT-OF-WAY
8.382 GROSS ACRES
AN ADDITION TO THE CITY OF ALLEN,
COLLIN COUNTY, TEXAS

PROJECT: 222210098 SHEET 2 OF 2

PLANNING & ZONING COMMISSION AGENDA COMMUNICATION
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AGENDA DATE: January 3, 2017

SUBJECT: Conduct a Public Hearing and consider a request for the Replat of Rivercrest Park Addition; being a Replat of Lot 1, Block 1, Bethany Worship Addition; generally located at the northeast corner of Greenville Avenue and Rivercrest Boulevard. (RP-8/16-16-70) [Rivercrest Park]

STAFF RESOURCE: Meredith Nurge
Planner

**PREVIOUS COMMISSION/
COUNCIL ACTION:** July, 2010 - PD No. 104 Amended
July, 2016 - PD No. 104 Amended

LEGAL NOTICES: None.

ANTICIPATED COUNCIL DATE: None.

BACKGROUND

The property is generally located at the northeast corner of Greenville Avenue and Rivercrest Boulevard. The properties to the north and east are zoned Single Family Residential District R-4. The properties to the south (across Rivercrest Boulevard) are zoned Planned Development PD No. 6 Shopping Center SC and Community Facilities CF. The property to the west (across Greenville Avenue) is zoned Planned Development PD No. 58 Community Facilities CF.

A Planned Development amendment was approved in July 2016 for a single-family residential subdivision. Platting is the last step in the development process.

The Replat shows approximately 6.89± acres subdivided into 35 residential lots and six (6) HOA lots. There are two (2) access points for the property. The primary access point for the development is located on Rivercrest Boulevard. There is also a gated emergency access drive on the northwestern end of the property on Greenville Avenue. The plat shows various easements and right-of-way dedication required for development.

The Replat has been reviewed by the Technical Review Committee, is consistent with the PD Amendment Concept Plan, and meets the standards of the Allen Land Development Code.

STAFF RECOMMENDATION

Staff recommends approval.

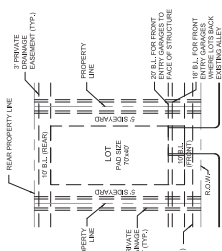
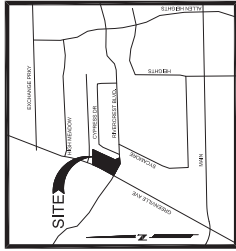
MOTION

I make a motion to approve the Replat of Rivercrest Park Addition, being a Replat of Lot 1, Block 1, Bethany Worship Addition; generally located at the northeast corner of Greenville Avenue and Rivercrest Boulevard.

ATTACHMENTS

Replat

Purpose Statement:
To subdivide the property into 35 planned residential lots and 6 planned HOA lots.



TYPICAL LOT SETBACKS

RIVERCREST PARK ADDITION

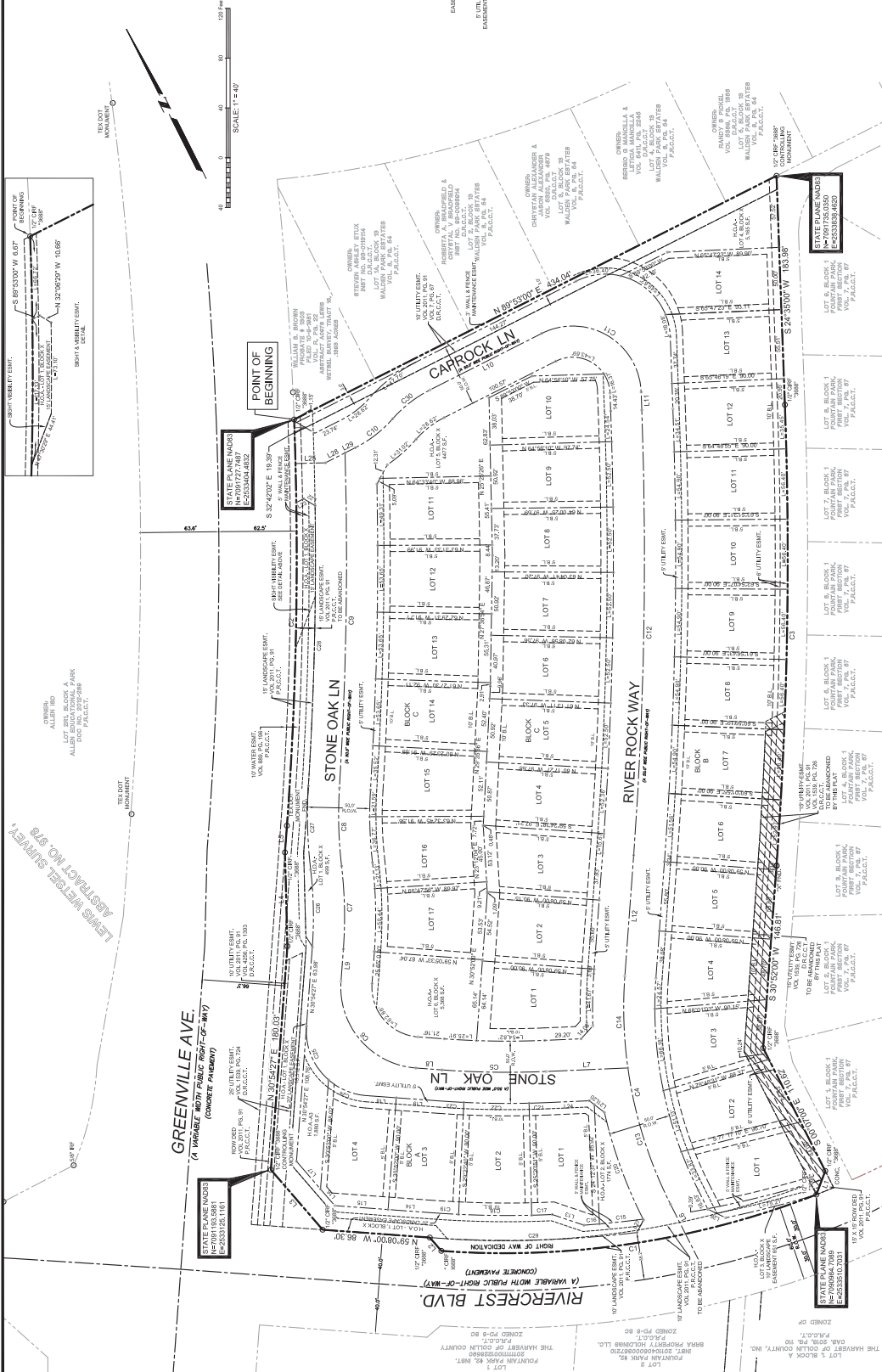
AN ADDITION TO
THE CITY OF ALLEN, COLLIN COUNTY, TEXAS
6.8891 ACRES
BEING A REPLAT OF
LOT 1, BLOCK 1
BETHANY WORSHIP ADDITION

OUT OF THE
JOHN L. MILLER SURVEY, ABSTRACT NO. 6909
CITY OF ALLEN, COLLIN COUNTY, TEXAS
SCALE: 1"=40' DATE: OCTOBER 20, 2016
35 RESIDENTIAL LOTS
6 HOA LOTS

SHEET 1 OF 2
PROJECT NO. 2015-017-D

OWNER:
RIVERCREST PARK, LLC, A TEXAS LIMITED LIABILITY COMPANY
CONTACT: SHANE JORDAN
16475 DALLAS PARKWAY, SUITE 540
ADDicks, TEXAS 75001
PH. 972-231-8600

SURVEYOR:
VOTEX SURVEYING COMPANY
10440 N. CENTRAL EXPRESSWAY, SUITE 800
DALLAS, TEXAS 75231
(CONTACT: CANDY HONE)



GENERAL NOTES:
1) UNLESS SPECIFICALLY IDENTIFIED IN THE PD REGULATIONS, THE DESIGN FOR THE PROJECT SHALL COMPLY WITH ALL ELEMENTS OF THE ALDC, REGARDLESS OF WHAT IS REPERT HEREIN.
11) LOTS UNLEADED HOA ARE TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.
12) ALL PERMITTER FENCING WITH BRICK COLUMNS SHALL BE MAINTAINED BY THE HOA, FENCING ALONG THE EAST PROPERTY LINE SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNER.
13) GAS METERS MUST BE LOCATED ON STRUCTURE.

GENERAL NOTES:
1) BEARING SOURCE: THE SOUTH RIGHT-OF-WAY LINE OF STACY ROAD IS 89°53'07" E. ACCORDING TO THE PLAT OF DOWNING ESTATES, RECORDED IN VOLUME 2006, PAGE 247, P.A.C.C.T.
2) THE PURPOSE OF THIS REPLAT IS TO CREATE 35 RESIDENTIAL PLATED LOTS.
3) SELLING OF A PORTION OF THE ACQUISITION BY METES AND BOUNDRIES IS A VIOLATION OF CITY ORDINANCE 10-10, WHICH PROHIBITS THE SELLING OF A PORTION OF A PLATED LOT TO BE USED FOR OTHER THAN THE INTENDED PURPOSE OF THE PLAT.
4) COORDINATES SHOWN ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH DATUM, 1983, AND PUBLISHED BY THE FEDERAL BUREAU OF SURVEYING, DEPARTMENT OF COMMERCE, AND PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
5) ALL COMMON AREAS SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (HOA).
6) ALL STREET ROW SHALL BE DEDICATED TO THE CITY OF ALLEN.
7) NO LANDSCAPING OR IMPROVEMENTS OVER 24" IN HEIGHT WILL BE ALLOWED WITHIN THE VEBILITY EASEMENTS.
8) THERE ARE 43,875 SQ. FT. OR 0.994 ACRES OF LAND BEING DEDICATED TO THE CITY OF ALLEN FOR PARKING.
9) ALL UTILITIES SHALL BE LOCATED IN THE UTILITY EASEMENTS.
10) ALL UTILITIES SHALL BE LOCATED IN THE UTILITY EASEMENTS.
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LEGEND:
CAB: CABINET
CM: CENT
PMT: PERMIT
PAGE: PAGE
50' FT: 50 FEET
D.C.C.T.: DEED RECORDS, COLLIN COUNTY, TEXAS
D.C.C.T.: DEED RECORDS, COLLIN COUNTY, TEXAS
P.A.C.C.T.: PLAT RECORDS, COLLIN COUNTY, TEXAS
12" I.R.S.: 12 INCHES
IRON ROD SET WITH YELLOW CAP: IRON ROD SET WITH YELLOW CAP
IRON ROD FOUND: IRON ROD FOUND
"X" FND: "X" CUT FOUND IN CONCRETE

PLANNING & ZONING COMMISSION AGENDA COMMUNICATION
--

AGENDA DATE: January 3, 2017

SUBJECT: Conduct a Public Hearing and consider a request for a Specific Use Permit for a Fueling Station use. The property is 0.999± acres out of the Witsaul Fisher Survey, Abstract No. 323; generally located north of Main Street and west of Angel Parkway. (SUP-6/14/16-49) [East Allen Retail]

STAFF RESOURCE: Meredith Nurge
Planner

**PREVIOUS BOARD/
COUNCIL ACTION:** None.

LEGAL NOTICES: Public Hearing Sign Installed – December 21, 2016
Public Hearing Letters Mailed – December 21, 2016

ANTICIPATED COUNCIL MEETING: January 24, 2017

BACKGROUND

The property is generally located north of Main Street and west of Angel Parkway. The property is zoned Planned Development PD No. 42 Shopping Center SC. The properties to the north, west, and east are zoned Planned Development PD No. 42 Shopping Center SC. The property to the south (across Main Street) is zoned Planned Development PD No. 44 Shopping Center SC.

A Site Plan for approximately 11.148± acres is currently being reviewed on the hard corner (north of Main Street and west of Angel Parkway) for a retail/restaurant development. All proposed uses are permitted by right with the exception of the fueling station. The applicant is requesting a Specific Use Permit (SUP) for the Fueling Station use. The *Allen Land Development Code (ALDC)* requires a Fueling Station use to receive a Specific Use Permit (SUP) to locate within a Shopping Center SC zoning district. The SUP for the fueling station use is supported as an accessory use associated with the Market/Grocery use. The fueling station is to be developed in conjunction with or after the Market/Grocery use is developed. This condition will be added to the SUP ordinance.

The SUP Site Plan shows the approximately 0.999± acre property for a Fueling Station use. There are six (6) double sided fuel pumps on the property as well an approximately 3,000 square foot proposed retail building.

There is one (1) primary access point into the site through a proposed fire lane which connects to Main Street.

Parking and open space exceed *ALDC* standards. A 5' sidewalk will be constructed along Main Street.

The proposed retail building is one (1) story with a maximum building height of 19'. Primary building materials include brick, stone, metal, and glass. The fueling station canopy is 21' feet in height and is constructed of stone and metal with a mansard roof.

The Specific Use Permit request has been reviewed by the Technical Review Committee and meets the standards of the *Allen Land Development Code*.

STAFF RECOMMENDATION

Staff recommends approval.

MOTION

I make a motion to recommend approval of the request for a Specific Use Permit SUP for a Fueling Station use, being 0.999± acres; generally located north of Main Street and west of Angel Parkway.

ATTACHMENTS

Property Notification Map
SUP Site Plan
SUP Landscape Plan
Black and White and Color Elevations



Property Ownership Notification

East Allen Retail SUP

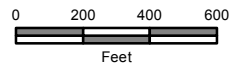
Map Legend

- 200' Notification Buffer
- Railroad
- Public Rezone
- CollinCAD Parcels

Aerial_2015_6in

RGB

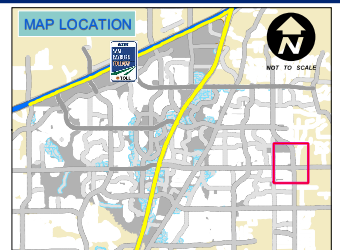
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- Green: Band_2
- Blue: Band_3



Community Development - GIS

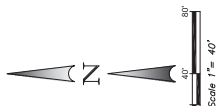
Date Saved: 12/19/2016

NOTE: This map is only for illustration purpose only, please contact the City of Allen Planning & Development Department for specific rules and regulations.



Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS • SURVEYORS
ALSO
1550 BELLEVILLE PLAZA, SUITE 225
CHICAGO, ILL. 60607-4000
REGISTRATION NO. 00000000000000000000
REGISTRATION NO. 00000000000000000000
OFFICE: 312.460.7000
FAX: 312.460.7000
E-MAIL: info@winkelmann.com
WWW: www.winkelmann.com
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No.	DATE	REVISION	APPROV
1	08/05/2016	SECOND SITE PLAN SUBMITTAL	GC



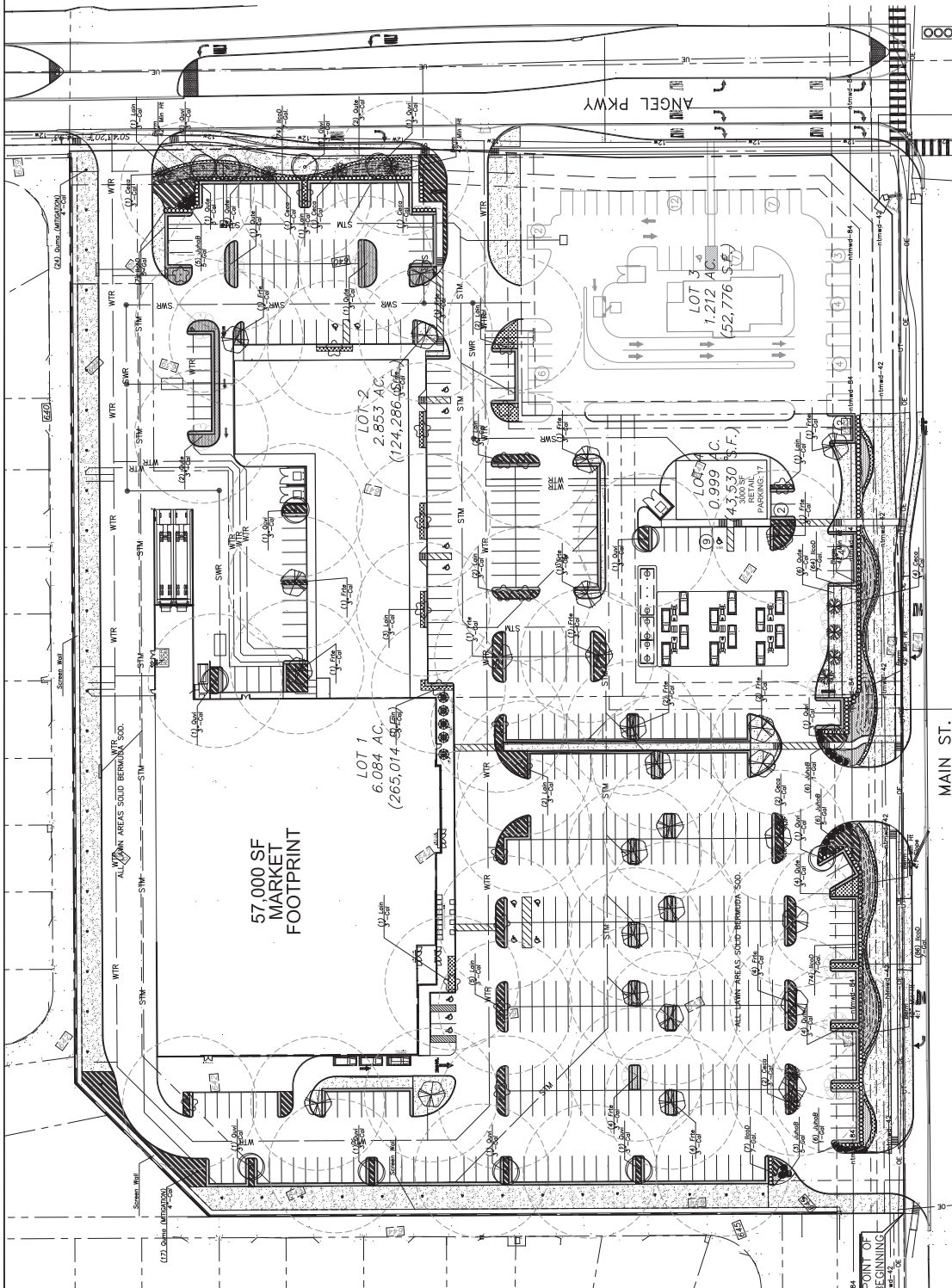
TEMPORARY IRRIGATION WILL BE REQUIRED TO ESTABLISH TURF IN ALL DISTURBED AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM. SOD TURF IN ALL DISTURBED AREAS AS IDENTIFIED ON GRADING AND EROSION CONTROL PLANS.

PLANTING NOTES:

1. PLANT SIZE, TYPE AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
2. CONTRACTOR SHALL PROVIDE OWNERS STOCK CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANTS.
3. PLANT MATERIAL UNLIL PROJECT ACCEPTANCE.
4. ROOT SYSTEM COMPLETELY ENCOMPASSING CONTAINER.
5. ALL PLANTS WELL ROUNDED AND FULLY BRANCHED, ALL PLANTS WELL ROUNDED AND FULLY BRANCHED.
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7. CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MATERIAL PER PLANT STANDARDS AT ALL ENTRANCES TO SITE.
8. FURFIRE WIDTH OF ALL DELIVERED PLANTING BEDS WITH MAX AS OUTLINED IN SPECIFICATIONS BE LOCATED ALONG CURB. SET SHRUBS BACK FROM CURB 3 FEET.
9. SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
10. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL PLANTING, TELEPHONE, ELECTRIC GAS, WATER AND SEWER ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE ONLY ON APPROVAL OF CITY ARBORIST.
11. DEAD AND DISEASED BRANCHES AND LIMBS, WITH BRUISES AND OTHER INVASIVE GROWTH; AND ALL TO REMAIN LIVING. RETAIN NATURAL SHAPE OF PLANT, ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
12. QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY QUANTITIES.
13. INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
14. MANUFACTURERS INSTRUCTIONS ON 1/4" PER SQUAREFOOT/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
15. AT THE TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE CONTRACTORS OBLIGATION TO ORDER PLANTS AND RESERVE ALL BEDS PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. CONTRACTOR TO HOLD BEDS PLANTS FOR LATE SEASON INSTALLATION.
16. BERM ALL PARKING LOT ISLANDS AS SHOWN ON DRAWINGS.
17. PRIOR TO PLANTING, CONTRACTOR SHALL STAKE TREE (ON GRADING PLAN).

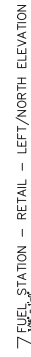
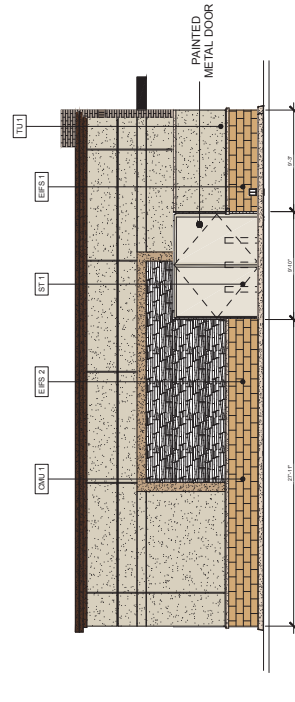
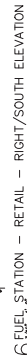
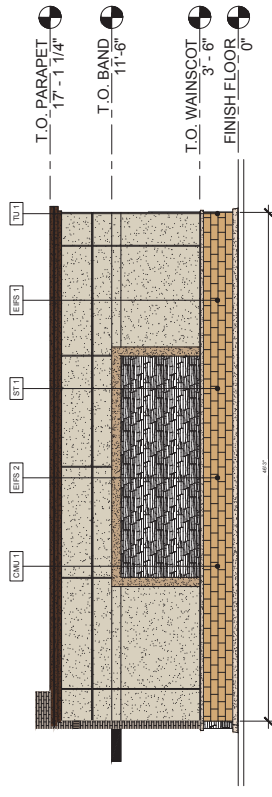
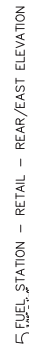
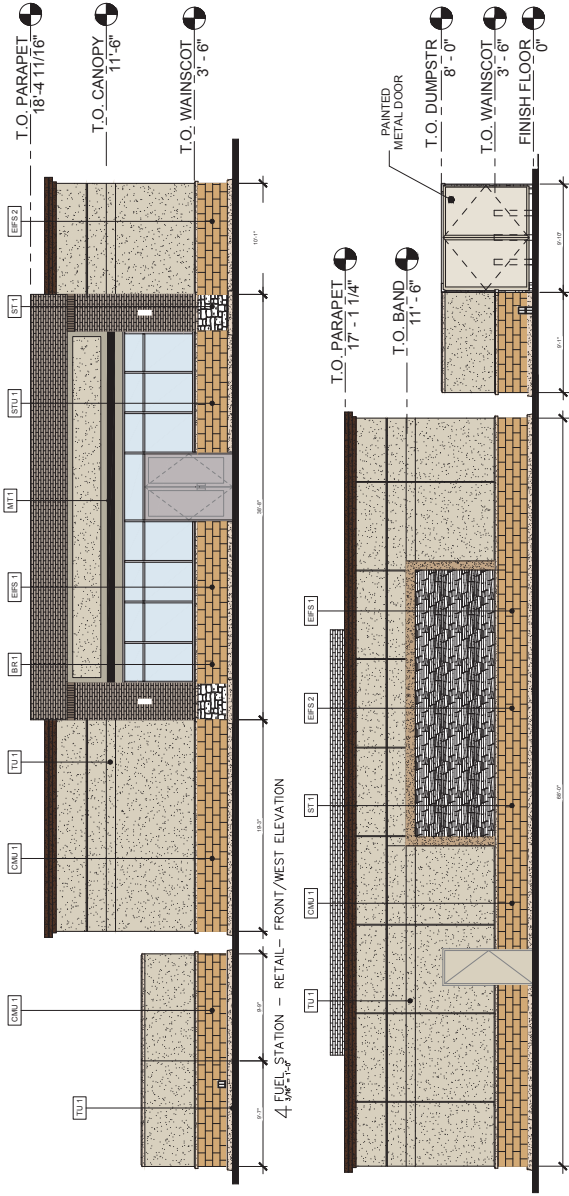
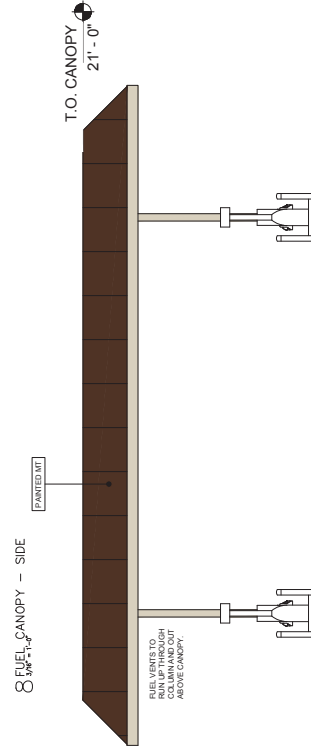
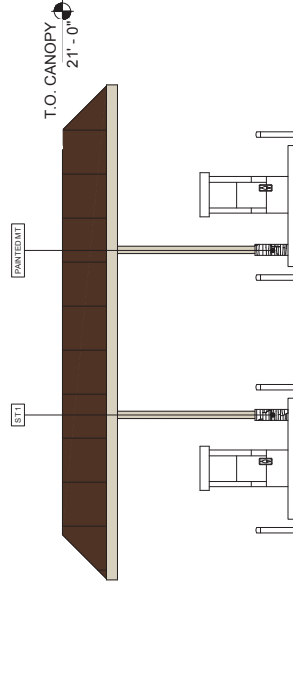
FAIN • CUPPETT
LANDSCAPE ARCHITECTS, LLC
6233 Mid Cities Blvd., Suite B
North Richland Hills, TX 76186-4281
817-475-0750
www.faincuppett.com

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREGORY A. CLUPPERT, MISSOURI ARCHITECT REGISTRATION BOARD MEMBER, ON 06/10/2016, WHO MAKING NO WARRANTY OF ANY KIND, INCLUDING MERCHANTABILITY, IN ANY USE OF THE DRAWING. PURSUANT TO THE RULES AND REGULATIONS OF THE TEXAS STATE BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE MISSOURI ARCHITECT REGISTRATION BOARD. THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO WAIVE ANY RIGHTS TO ANY DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECTS' EXPRESS WRITTEN PERMISSION.

[illegible]

NOTE:
NO LANDSCAPE PLANTINGS
WITHIN 24" OF PARKING
LOT CURBS.

CAUTION!!!
UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATOR FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.
TEXAS ONE CALL SAFETY SYSTEM (TESS)
1-800-344-8377
TEXAS ONE CALL SYSTEMS
1-800-245-4545
LONE STAR NOTIFICATION CENTER
1-800-669-8344 EXT. 5

[illegible]

PLANNING & ZONING COMMISSION AGENDA COMMUNICATION

AGENDA DATE: January 3, 2017

SUBJECT: TABLED ITEM/Public Hearing – Conduct a Public Hearing and consider a request to change the zoning of 10.839± acres located in the Jas T. Roberts Survey, Abstract No. 777 and the Henry Wetsel Survey, Abstract No. 1026; generally located south of Stacy Road and east of Greenville Avenue, from Shopping Center “SC” to a Planned Development for Townhome Residential “TH”, and adopt Development Regulations, a Concept Plan, Hardscape Plan, and Building Elevations. (Z-9/16-16-87) [Stacy Villas]

STAFF RESOURCE: Madhuri Mohan, AICP
Senior Planner

PREVIOUS COMMISSION/COUNCIL ACTION: October, 2003 – General Development Plan Approved
November, 2003 – Preliminary Plat Approved
August, 2009 – Revised Preliminary Plat Approved
July, 2011 – Revised Preliminary Plat Approved
December, 2014 – Revised General Development Plan Approved

LEGAL NOTICES: Public Hearing Sign – November 23, 2016
Public Hearing Notices – November 23, 2016 and December 21, 2016

ANTICIPATED COUNCIL DATE: January 24, 2017

BACKGROUND

The property is generally located south of Stacy Road and east of Greenville Avenue. The property to the north is zoned Shopping Center SC, and further north (across Stacy Road), is the Town of Fairview. The properties to the east are zoned Community Facilities CF and Single-Family Residential R-7. To the south, the property is zoned Single-Family Residential R-7. The properties to the west are zoned Shopping Center SC, and further west (across Greenville Avenue), zoned Shopping Center SC and Single-Family Residential R-5.

The property is currently zoned Shopping Center SC. The applicant is requesting to change the zoning by creating a Planned Development for a townhome development, and adopting Development Regulations, a Concept Plan, Hardscape Plan, and Building Elevations for the property.

The proposed residential development is approximately 10.839± acres. The attached Concept Plan shows a total of eighty-eight (88) residential lots and six (6) HOA lots. All lots have a minimum lot size of 25' X 90' (2,250 square feet) and will be front-entry with a minimum dwelling unit area of 1,300 square feet. The gross lot density equates to 8.11 units/acre.

Of the six HOA lots, four (4) are open space lots. Open Space provided exceeds *ALDC* standards. Pedestrian walkways with seating areas are provided throughout the open space areas. Two 3" caliper shade trees are required for each dwelling unit. A minimum of one tree will be planted on each dwelling unit, and the remaining shade tree will be planted either on the lot with the dwelling unit or within the open space areas of the property.

There are two (2) primary access points into the development; one on Greenville Avenue, and one on Stacy Road through an Access, Utility, and Firelane Easement. Parking within the development will be provided through parking in the garage, driveway, and designated head-in parking areas. Parking along internal roadways is prohibited, and will be marked by curb striping indicating “No Parking.”

The attached Hardscape Plan shows the screening for the property. Perimeter screening consists of an existing eight foot (8') masonry (brick) screening wall on the southern and eastern portions of the property adjacent to the single-family development. An eight foot (8') masonry (brick) screening wall will also be constructed along the northern and western portions of the property adjacent to the commercial lots. Screening on the western side of the development (and a small portion on the northern side of the development) will include an eight foot (8') masonry (stone) wall. Interior screening will consist of six foot (6') ornamental metal fencing.

Primary building materials, shown on the three types of building elevations (attached) are brick and stone with composition shingle roofing. Each of the three elevation types will be used on at least four (out of the 18) buildings in the development. Garage doors and driveways will be enhanced and treated. The maximum building height will be 2 ½ stories or 39'. Any windows on the second floor of the rear elevations of Lots 24-29, Block A, will be opaque glass/privacy windows.

The attached development regulations include design standards to establish the Planned Development, including lot design criteria, garage setback, building height, screening, a no parking provision, and a tree planting regulation.

The request has been reviewed by the Technical Review Committee.

This item was tabled at the December 6, 2016, Planning and Zoning Commission meeting. It is our understanding that since the last P&Z meeting, the applicant has reached out to the surrounding residents.

STAFF RECOMMENDATION

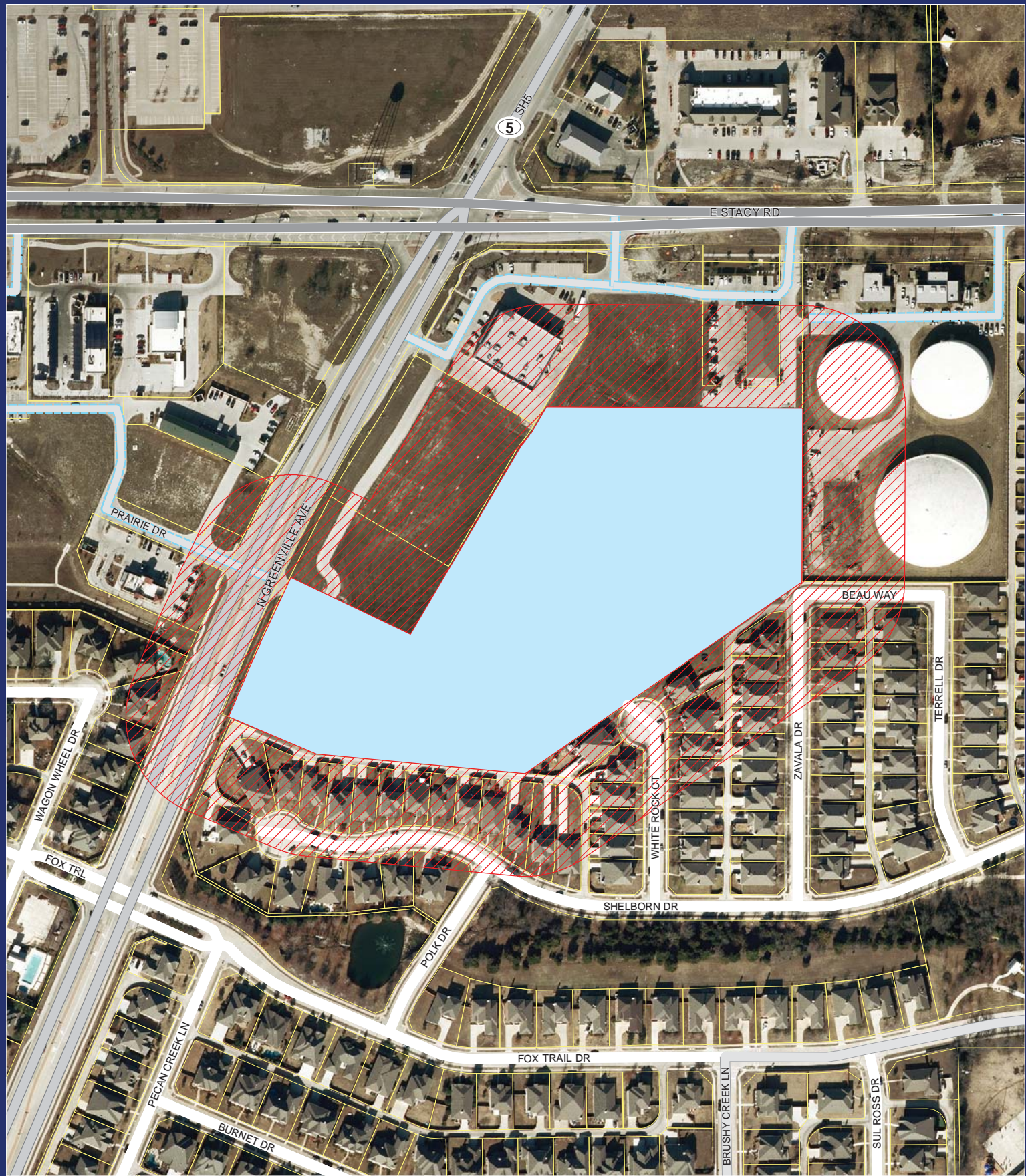
Staff recommends approval.

MOTION

I make a motion to recommend approval of the request to change the zoning of 10.839± acres; generally located south of Stacy Road and east of Greenville Avenue, from Shopping Center “SC” to a Planned Development for Townhome Residential “TH”, and adopt Development Regulations, a Concept Plan, Hardscape Plan, and Building Elevations, for Stacy Villas.

ATTACHMENTS

Property Notification Map
Development Regulations
Concept Plan
Hardscape Plan
Building Elevations

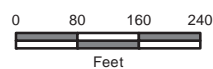


Property Ownership Notification

Stacy Villas

Map Legend

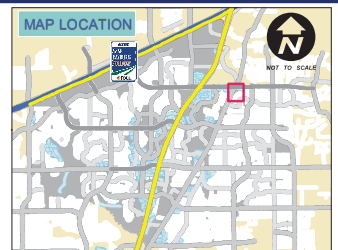
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- PARCELTYPE**
- ABSTRACT
- COA
- RESIDENTIAL
- 200' Notification Buffer
- Railroad
- Public Rezone
- CollinCAD Parcels



Community Development - GIS

Date Saved: 11/2/2016

NOTE: This map is only for illustration purpose only, please contact the City of Allen Planning & Development Department for specific rules and regulations.



DRAFT OF PROPOSED DEVELOPMENT REGULATIONS FOR STACY VILLAS

The Property shall be developed and used in accordance with the applicable provisions of the Allen Land Development Code, as amended, ("ALDC") except to the extent modified by the Development Regulations set forth below:

- A. BASE ZONING DISTRICT:** The Property shall be developed and used only in accordance with the Townhome Residential District "TH" standards of the ALDC, except as otherwise provided in this Ordinance.
- B. CONCEPT PLAN:** The Property shall be developed in substantial conformance with the Concept Plan attached hereto as Exhibit "A" and incorporated herein by reference. Minor modifications to streets that do not alter the general alignment shown on the Concept Plan may be made at the time of platting.
- C. LOT DESIGN CRITERIA:** The lot design criteria for the Property shall be as follows:
 - (1) Lot Width: The minimum lot width shall be 25'.
 - (2) Lot Area: The minimum lot area shall be 2,250 square feet.
 - (3) Dwelling Unit Size: The minimum dwelling unit size shall be 1,300 square feet of air conditioned space.
- D. GARAGE SETBACK:** Not less than 20 feet (to face of the structure)
- E. BUILDING ELEVATIONS:**
 - (1) The residential units constructed on the Property shall be developed in general conformance with the materials (both in style and mix) and architectural style set forth in the Building Elevations attached hereto as Exhibit "B," and incorporated herein by reference.
 - (2) Each of the three elevation types shall be used on at least four (out of the 18) buildings in the development.
 - (3) Garage doors shall be metal, patterned with a wood-like texture.
 - (4) The driveways shall be treated with a decorative concrete aggregate, with one of the following finishes:
 - 1. Exposed Aggregate
 - 2. Stained Concrete
 - 3. Salt Finished Concrete
 - (5) Any windows on a second floor of the rear elevation of Lots 24 through 29, Block A, must be opaque glass/privacy window.
- F. BUILDING HEIGHT:** The maximum building height shall be thirty-nine (39) feet.

- G. SCREENING:** Screening on the Property shall be developed in general conformance with the Hardscape Plan attached hereto as Exhibit “C” and incorporated herein by reference. No building permit shall be issued until the fence permit has been issued and construction of the screening wall has commenced. No final building inspections shall be conducted for any building constructed on the Property until the Director of Community Development or designee has determined that construction and installation of all required screening has been completed and conforms to the Hardscape Plan and other applicable city ordinances.
- H. NO PARKING:** No on-street parking is allowed on the Property except where designated head-in parking is provided or anywhere that on-street parking is otherwise authorized by the Fire Marshal. Areas where on-street parking is prohibited must be marked by curb striping indicating “No Parking.”
- I. TREE PLANTING:** No fewer than two (2) shade trees (as defined in Appendix C of the ALDC) with a trunk diameter of not less than three (3) caliper inches at time of planting, shall be planted for each dwelling unit within the Property for which a building permit has been issued. At least one of the required shade trees must be planted on each lot, with the remaining required shade tree to be planted either on the lot with the dwelling unit or within the open space areas of the Property. The Director of Community Development shall have the authority to withhold final inspections of buildings constructed on the Property if it is determined that the required number of shade trees has not been planted as of the date of the suspension. Such suspension shall be lifted upon determination by the Director of Community Development that the required by number of shade trees has been planted.

HARDSCAPE LEGEND

- 8'-0" HT. BRICKCRETE MASONRY WALL
REFER TO SHEET **C2**
- EXISTING 8'-0" HT. BRICK THINWALL
- 8'-0" HT. BRICK THINWALL SCREEN W/ STONE COLUMN
REFER TO SHEET **C3**
- 8'-0" HT. STONE WALL
REFER TO SHEET **C4**
- PEDESTRIAN WALKWAYS WITH BENCHES
- INTERNAL FENCE:
MIN. 6'-0" HT. ORNAMENTAL METAL FENCE

PEDESTRIAN WALKWAY WITH SEATING AREA

PEDESTRIAN ACCESS TO ADJOINING LOT WITH ORNAMENTAL METAL GATE

PEDESTRIAN WALKWAY WITH SEATING AREA

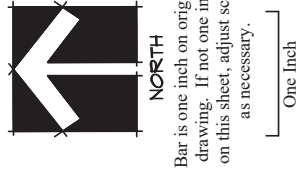
8'-0" HT. BRICKCRETE MASONRY WALL
REFER TO SHEET **C2**

MAILBOX LOCATION

8'-0" HT. STONE WALL
REFER TO SHEET **C4**

8'-0" HT. BRICK THINWALL W/ STONE COLUMNS
REFER TO SHEET **C3**

NOTE:
Two 3" Caliper trees are required for each dwelling unit. One tree shall be planted on the lot and the other shall be dispersed throughout the open spaces. Planting to be installed by builder.



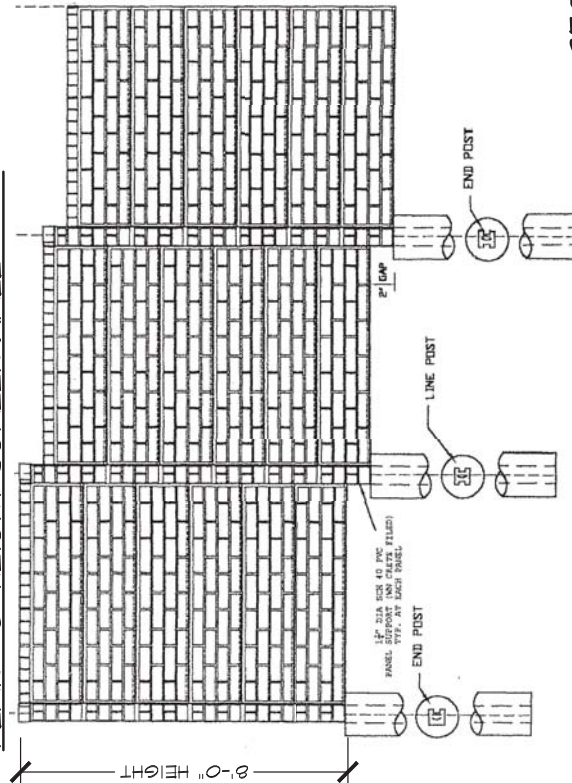
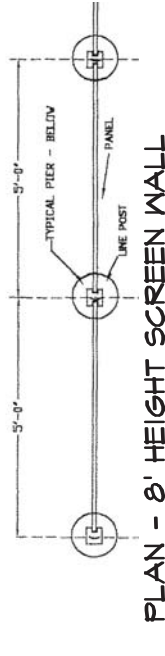
Allen, Texas

STACY VILLAS
OVERALL PLAN

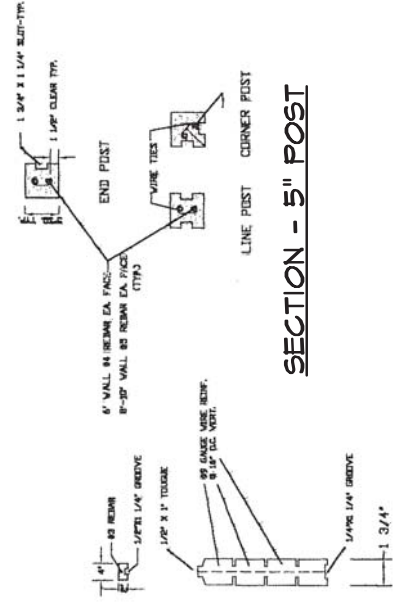
STUDIO 13 DESIGN GROUP
Studio 13 Design Group, PLLC
386 W. Main Street
Levellville, Texas 75657
409-631-1900
TRAFF #100 #10043

Exhibit D
C1 of 4





SECTION - 8' SCREENWALL POST



SECTION - 5\"/>



DETAILS - BRICKCRETE WALL PANEL & CAP

NOTES:

- This project has been designed in accordance with the Uniform Building Code, 1997 Edition.
- Applied Loads:
 - Wind Velocity $V = 100$ mph
 - Exposure $C_e = 1.0$
 - Pressure Coefficient $C_p = 1.0$
 - Importance Factor $I = 1.0$
 - Wind Pressure $P = 0.62(1.40)(19.8) = 17.19$ psf
 - Working Design Stress $F_{max} = 15$ ksi
 - Seismic Design $S = 0.2$
- Product to be manufactured by PremierCrete Products, LLC.

Address: 9534 Industrial Rd. Justin, Texas 76247
Phone: 972-445-6558
- Screening wall is to be constructed entirely on the project property.
- Color:
 - Post and panels shall be integrally colored.
 - Color shall be selected by owner.

Materials:

- Concrete Materials:
 - Concrete shall be normal weight concrete having dead and gravel or crushed stone aggregates. Mixed with ASTM-C150, type I or II; portland cement to meet the minimum compressive strength as follows:
 1. Minimum 28 day strength: 4000 psi
 2. Footings & piers: 1000 psi at 28 days.
 3. Sidewalk & non-structural: 2800 psi at 28 days.
 - Water used for concrete shall be clean water and shall be free of deleterious substances, additives, organic or other deleterious substances.
 - All concrete permanently exposed to the weathering shall be finished with a weather-resistant surface.
 - 13 to 5 percent entrained air as recommended by the manufacturer.
- Concrete Workmanship:
 - Fresh poured concrete shall be tamped into place steel tamping, slicing tools or mechanical vibrator, until concrete is thoroughly compact and void-free.
 - Concrete shall be finished to the depth noted on the drawings. Leave the bottom bearing surface clean and smooth. If footing excavations are made, they shall be finished and repaired. All concrete shall be cured for 7 days. Remove all loose material from excavations prior to concrete pour.

Reinforcement:

- Reinforcing Materials:
 - Reinforcing bars shall conform to ASTM-A 615.
 - Steel reinforcing wire shall meet U.S. Steel Wire gauge, ASTM-A 82, fy = 70,000 psi min galvanized.
 - All reinforcing bars shall conform to the requirements of ASTM-A 615, grade 60.
 - All wire mesh shall be 3 gauge galvanized having 3 horizontal bars and 4 vertical on 16 inch centers.
- Reinforcing Workmanship:
 - Reinforcement shall be fabricated in accordance with the CMU standard detail.
 - Reinforcing bars shall be cold-bent only.
 - Use of heat to bend reinforcement steel shall be prohibited.
 - Reinforcement steel bars and wire fabric shall be thoroughly cleaned before placing and again before the concrete is placed.
 - The reinforcing steel shall be placed in brick or piers materials may be used to support the steel off the ground.
 - All reinforcement with the following clearances between reinforcing steel and face of concrete:
 1. Footing, pier or beam bottom: (2")
 2. Sides: (2")
 3. Formed footing, pier or beam sides, exposed: (2")
 4. Precast exposed to weather: panels (3/4"), splices (1 1/4")
 - Splices shall be staggered. Minimum unspliced reinforcing steel shall have a minimum lap of 30 bar diameters.

Notes:

- Footing size is based on the following minimum soil properties:
 - Soil type: Class II
 - Bearing Capacity: 90 ksf
 - Frictional Resistance: 250 psf
 - Lateral bearing: 300 psf/ft of depth.

STACY VILLAS
Allen, Texas
8'-0" HT. BRICKCRETE SCREENING WALL

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch



Studio 13 Design Group, PLLC
386 W. Main Street
Levellville, Texas 75857
409-631-1900

TRAF/100 #R643

Exhibit D
C2 of 4

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

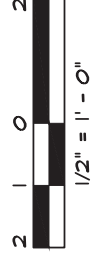
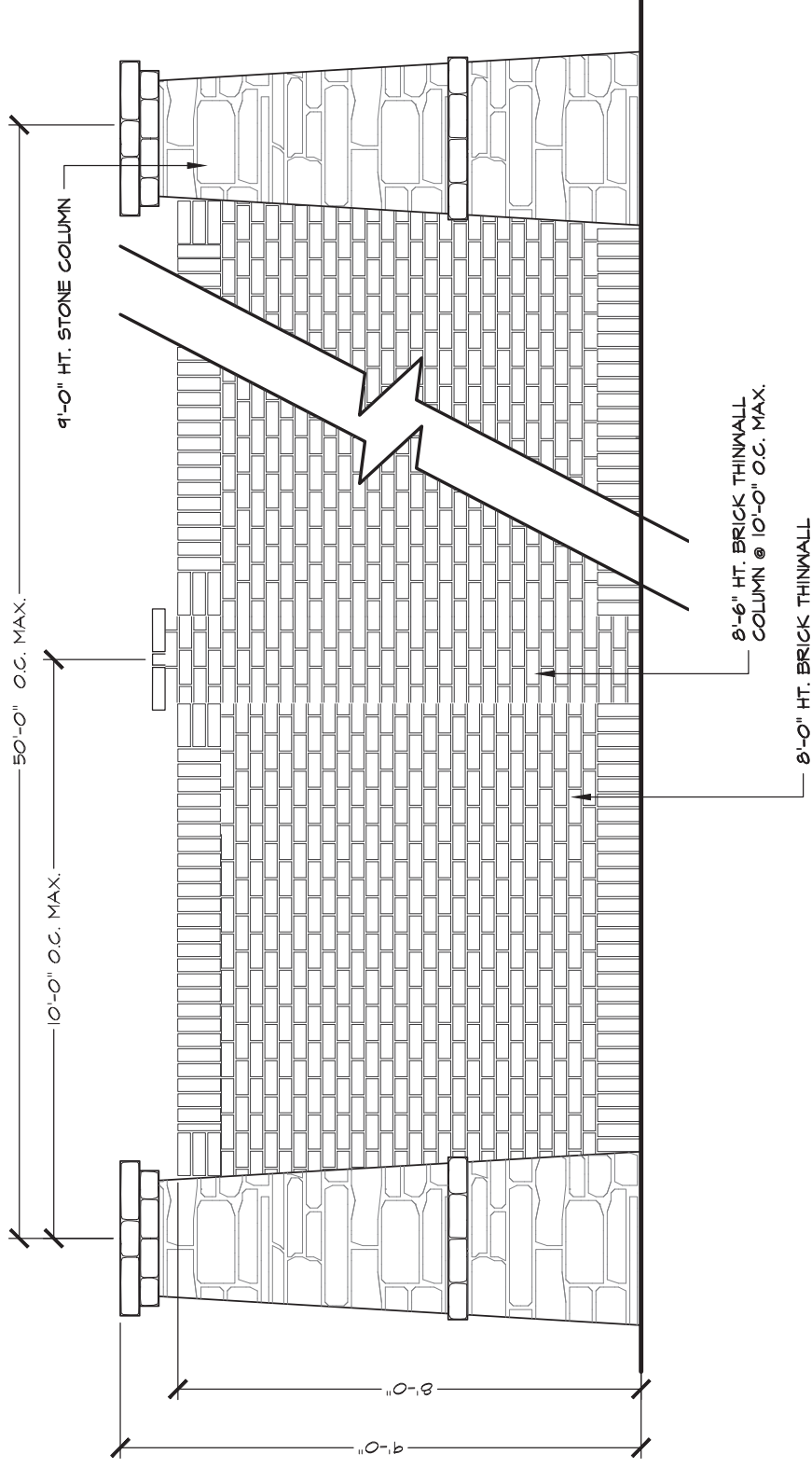
One Inch



Studio 13 Design Group, PLLC
386 W. Main Street
Levellville, Texas 75057
409-633-1900

TBAE Firm #B643

Exhibit D
C3 of 4



STACY VILLAS
Allen, Texas

8'-0" HT. STONE WALL AND COLUMNS

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

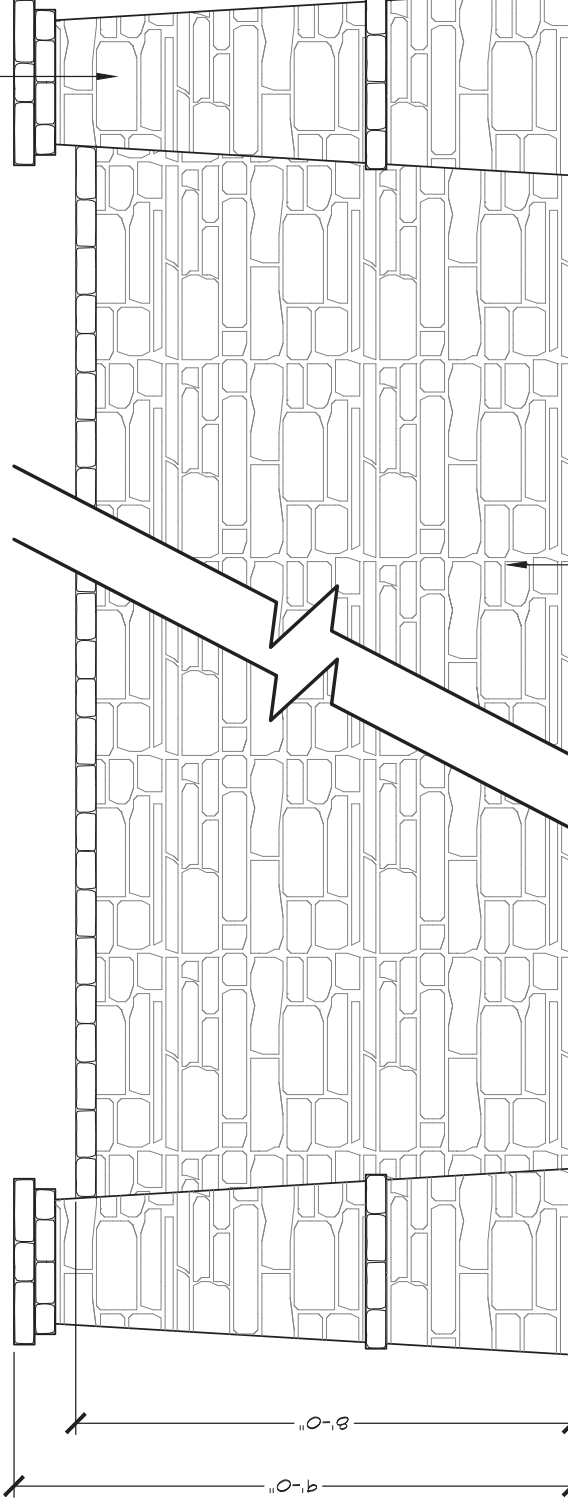


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Levellville, Texas 75057
409-633-1900

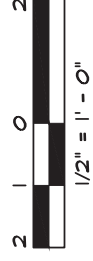
TBAE Firm #B643

Exhibit D
C4 of 4

9'-0" HT. STONE COLUMN
TYP.



8'-0" HT. STONE WALL
TYP.





ELEVATION A

THIS RENDERING IS CONCEPTUAL ONLY AND SUBJECT TO CHANGE



SHELDON

MACKENZIE

HOLBROOK

MACKENZIE

SHELDON

EXHIBIT "C"



ELEVATION B

THIS RENDERING IS CONCEPTUAL ONLY AND SUBJECT TO CHANGE



SHELDON

MACKENZIE

HOLBROOK

MACKENZIE

SHELDON

EXHIBIT "C"



ELEVATION C

THIS RENDERING IS CONCEPTUAL ONLY AND SUBJECT TO CHANGE



SHELDON

MACKENZIE

HOLBROOK

MACKENZIE

SHELDON

EXHIBIT "C"



SIDE VIEWS

THIS RENDERING IS CONCEPTUAL ONLY AND SUBJECT TO CHANGE



SHELDON - LEFT END



SHELDON - RIGHT END



REAR VIEW

THIS RENDERING IS CONCEPTUAL ONLY AND SUBJECT TO CHANGE



SHELDON

MACKENZIE

HOLBROOK

MACKENZIE

SHELDON