



**AGENDA  
CITY OF ALLEN  
PLANNING AND ZONING COMMISSION  
REGULAR MEETING  
TUESDAY, SEPTEMBER 5, 2017 – 7:00 P.M.  
CITY COUNCIL CHAMBERS  
ALLEN CITY HALL  
305 CENTURY PARKWAY  
ALLEN, TEXAS 75013**

**Call to Order and Announce a Quorum is Present**

**Pledge of Allegiance**

**Directors Report**

1. Action taken on the Planning & Zoning Commission items by City Council at the August 22, regular meeting.

**Consent Agenda** (*Routine P&Z business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.*)

2. Approve minutes from the August 15, 2017, regular meeting.
3. Final Plat – Consider a Final Plat for The Village at Twin Creeks, Phase Three, being 23.067± acres located in the Catherine Parsons Survey, Abstract No. 711; generally located west of Watters Road and south of Kennedy Drive. (PL-071717-0013) [The Village at Twin Creeks Phase Three]

**Regular Agenda**

4. Preliminary Plat – Consider a Preliminary Plat for Ridgeview Crossing, being 75.155± acres located in the F. Dosser Survey, Abstract No. 280 and the G. Phillips Survey, Abstract No 701; generally located at the southwest corner of the intersection of Ridgeview Drive and Chelsea Boulevard. (PL-Pre-071817-0005) [Ridgeview Crossing]
5. Public Hearing – Conduct a Public Hearing and consider a request to establish a Planned Development zoning district with a base zoning of Shopping Center SC and to adopt Development Regulations, a Concept Plan, and Building Elevations for an 8.472± acre tract of land situated in the William Perrin Survey, Abstract No. 708 and the Rufus Sewell Survey, Abstract No. 875; generally located at the southwest corner of the intersection of Bethany Drive and Greenville Avenue. (ZN-080717-0008) [Bethany Greenville Retail Center]
6. Public Hearing – Conduct a Public Hearing and consider a request to amend the Planned Development zoning district with a base zoning of Shopping Center SC and to adopt

Development Regulations, a Concept Plan, Open Space Plan, Sub-Area Plan, Phasing Plan, Sign Plan, Fire Lane Plan, and Building Elevations for a 79± acre tract of land situated in the L.K. Piques Survey, Abstract No. 702, the Francis C. Wilmeth Survey, Abstract No. 999, and the Henry Wetsel Survey, Abstract No. 1026; generally located at the southwest corner of the intersection of Stacy Road and US Highway 75. (Z-091616-0086) [Stacy Green]

**Executive Session (As Needed)**

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

**Adjournment**

This notice was posted at Allen City Hall, 305 Century Parkway, Allen, Texas, at a place convenient and readily accessible to the public at all times. Said notice was posted on Friday, September 1, 2017, at 5:00 pm.

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Shelley B. George, City Secretary

Allen City Hall is wheelchair accessible. Access to the building and special parking are available at the entrance facing Century Parkway. Requests for sign interpreters or special services must be received forty-eight (48) hours prior to the meeting time by calling the City Secretary at 214-509-4105.

**Director's Report from 8/22/2017 City Council Meeting**

- There were no items taken to the August 22, 2017 City Council Meeting.



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**PLANNING AND ZONING COMMISSION**

**Regular Meeting**

**August 15, 2017**

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**ATTENDANCE:**

**Commissioners Present:**

Ben Trahan, 1<sup>st</sup> Vice-Chair  
Luke Hollingsworth  
John Ogrizovich  
Michael Orr

**Absent:**

Stephen Platt, Jr., 2<sup>nd</sup> Vice-Chair

**City Staff Present:**

Lee Battle, Acting Director of Community Development, AICP, LEED AP  
Joseph Cotton, PE, Assistant Director of Engineering  
Brian Bristow, Assistant Director of Parks and Recreation  
Kevin Bates, Program Manager  
Madhuri Mohan, AICP, Senior Planner  
Kelly McGinnis, Grant/Project Coordinator  
Hayley Angel, Planner  
Nicole Corr, City Attorney

**Call to Order and Announce a Quorum is Present:**

With a quorum of the Commissioners present, Chairman Cocking called the meeting to order at 7:00 p.m. in the City Hall Council Chambers Room at Allen City Hall, 305 Century Parkway.

**Directors Report**

1. Action taken on the Planning & Zoning Commission items by City Council at the August 8, 2017, regular meeting, attached.

**Consent Agenda** (*Routine P&Z business: Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.*)

2. Approve minutes from the August 1, 2017, regular meeting.
3. Final Plat – Consider a Final Plat for Stacy Chelsea Commercial Addition, Lots 3, 4 & 5, Block A, being 14.5041± acres located in the Francis Dosser Survey, Abstract No. 280; generally located north of Stacy Road and west of Chelsea Boulevard (PL-080217-0014) [Stacy Chelsea Commercial Addition]

**Motion:**            **Upon a motion by Commissioner Hollingsworth, and a second by Commissioner Orr, the Commission voted 4 IN FAVOR, and 0 OPPOSED to approve the Consent Agenda.**

**The motion carried.**

**Regular Agenda**

4. Public Hearing – Conduct a Public Hearing and consider a request to amend the Development Regulations of Planned Development PD No. 53 Shopping Center “SC” and adopt a Concept Plan, Landscape Plan, and Building Elevations relating to the use and development of Lot 1R, Block A, Kids R Kids Addition; generally located at the northwest corner of the intersection of Alma Drive and Exchange Parkway. (Z-3/13/17-27) [Alma and Exchange Grocer]

Ms. Madhuri Mohan, Senior Planner, presented the item to the Commission. She stated that the item is a Planned Development PD Amendment for Alma and Exchange Grocer. She stated that the property is generally located at the northwest corner of the intersection of Alma Drive and Exchange Parkway. The properties to the north are zoned Planned Development PD No. 53 Single Family Residential R-6. The properties to the west are zoned Planned Development PD No. 53 Shopping Center SC. To the south (across Exchange Parkway), the properties are zoned Planned Development PD No. 54 Single Family SF. To the east (across Alma Drive), the properties are zoned Shopping Center SC.

Ms. Mohan stated that the property is currently zoned Planned Development PD No. 53 Shopping Center SC. She stated that the applicant is requesting to amend the existing development regulations, and adopt a Concept Plan, Landscape Plan, and Building Elevations for a grocery store. She noted that the existing PD allows for a grocery store by right and that the amendment is primarily for the building design and layout. She stated that the grocery store being proposed is called Lidl.

Ms. Mohan stated that the property is approximately 5.5 acres and that the grocery store is just under 36,000 square feet.

There are a total of four access points into the property; one access point on Exchange Parkway, two access points on Alma Drive, and one internal access point from the property to the west through a Fire, Access, Drainage, and Utility Easement. She noted that a southbound right-turn lane on Alma Drive and the extension of a westbound deceleration lane on Exchange Parkway will be constructed to manage the traffic flow into the site.

Ms. Mohan stated that there is also a five-foot sidewalk proposed along Alma Drive. Additionally, she stated that there is a ten-foot trail proposed along Exchange Parkway. She noted that parking and landscaping meet Allen Land Development Code standards.

Ms. Mohan stated that there is an existing screening wall along the northern side of the property. She stated that the distance between the property line and the north side of the building is just over 150 feet.

Ms. Mohan stated that the proposed rear yard setback of fifteen feet is less than what is currently allowed. She noted that this was changed to accommodate the building and the parking.

Ms. Mohan stated that another reason for the PD Amendment was because of the location of the loading dock. She noted that the truck dock loading area will be on the eastern side (the front) of the building. She stated that the Allen Land Development Code does not permit loading docks to face the right-of-way, but this grocer's loading dock was unable to be moved. She stated that berming and enhanced landscaping will be in place for screening as depicted on the Landscape Plan and is intended to prevent any direct line of sites from the street to the loading area from either Alma Drive or Exchange Parkway.

Ms. Mohan presented the proposed elevations for the building, which show the building at one story and a maximum of twenty-nine feet. She stated that the primary building materials would be brick, stucco, and glass.

Ms. Mohan stated that the development regulations include provisions to accommodate the design of the site and include building setbacks, loading provisions, and street improvements for the grocery store. She stated that the development regulations prevent a Certificate of Occupancy from being issued until the City's Building Official and Director of Community Development have inspected the installation of the landscaping and berming to ensure they are installed per the Landscape Plan. Additionally, she stated that the Certificate of Occupancy will not be issued until the previously discussed traffic improvements have been completed.

Ms. Mohan stated that one letter of opposition was received. The individual had concerns with food and beverage being served on the northern side of the building and concerns with the orientation of the loading dock.

Commissioner Ogrizovich asked for clarification of the pronunciation and spelling of the proposed grocer.

Ms. Mohan responded by spelling the grocer's name, Lidl.

Commissioner Ogrizovich read a sentence from the development regulations: "The interior of the loading dock shall be screened in a manner to not be visible." He asked staff if the sentence was referring to a form of screening other than the berming.

Ms. Mohan stated that the specific sentence referenced the berming and specified that only enhanced landscaping and berming will screen the loading dock.

1<sup>st</sup> Vice-Chair Trahan asked if this loading dock was similar to the loading dock at Market Street.

Ms. Mohan stated that she was unsure of whether that location has as much berming and landscaping as what is proposed for this site.

1<sup>st</sup> Vice-Chair Trahan opened the public hearing.

1<sup>st</sup> Vice-Chair Trahan closed the public hearing.

Kevin Gaskey, 13455 Noel Drive, Tower Two, Dallas, represented the applicant. He stated that he would be happy to answer any questions about the project.

Commissioner Ogrizovich asked the applicant if this store was in other locations in the area.

Mr. Gaskey stated that there are other stores planned but that none had been built in this area.

Commissioner Ogrizovich asked if this would be the first store opened in the area.

Mr. Gaskey stated that it would probably be one of the first group of stores opening. He stated that there will be several stores built simultaneously.

Commissioner Ogrizovich asked how the size of the proposed building compared to the stores across the street from the subject property.

Mr. Gaskey stated that Walgreens or CVS are generally 18,000 to 20,000 square feet and that the proposed building is 36,000 square feet. He stated that the proposed building is comparable to a longer and wider version of a Walgreens or CVS.

Commissioner Orr asked the applicant about the main competitors of the proposed user.

Mr. Gaskey stated that Trader Joe's, Market Street, and Whole Foods 365 are the market that Lidl is looking to compete against.

Commissioner Ogrizovich stated that the letter received was concerned with the preparation of food. He asked the applicant if there would be any preparation of food.

Mr. Gaskey said that there is not a hot kitchen, ready-to-go meals, or other forms of preparation of food.

1<sup>st</sup> Vice-Chair Trahan stated that he had studied the loading dock and its relation to the berming. He stated that he felt it was a good alignment. He thanked the applicant for taking this into consideration.

**Motion:**           **Upon a motion by Commissioner Orr, and a second by Commissioner Hollingsworth, the Commission voted 4 IN FAVOR, and 0 OPPOSED to recommend approval of the request to amend the Development Regulations of Planned Development PD No. 53 Shopping Center "SC" and adopt a Concept Plan, Landscape Plan, and Building Elevations relating to the use and development of Lot 1R, Block A, Kids R Kids Addition; generally located at the northwest corner of the intersection of Alma Drive and Exchange Parkway, for the Alma and Exchange Grocer.**

**The motion carried.**

5. 2018-2022 Capital Improvement Program Presentation.

Mr. Kevin Bates, Program Manager in the Department of Engineering, Mr. Brian Bristow, Assistant Director of Parks and Recreation, and Ms. Kelly McGinnis, Grants/Project Coordinator in the Department of Parks and Recreation presented the item to the Commission. Mr. Bates stated the item is a summary of the 2018-2022 Capital Improvement Program. He stated that the Planning and Zoning Commission serves as an advisory board to the City Council on this matter.

**Motion:**           **Upon a motion by Commissioner Hollingsworth, and a second by Commissioner Ogrizovich, the Commission voted 4 IN FAVOR, and 0 OPPOSED to recommend approval of the 2018-2022 Capital Improvement Program.**

**The motion is carried.**

**Executive Session (As Needed)**

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

**Adjournment**

The meeting adjourned at 7:58 p.m.

These minutes approved this \_\_\_\_\_ day of \_\_\_\_\_ 2017.

\_\_\_\_\_  
Ben Trahan, 1<sup>st</sup> Vice-Chair

\_\_\_\_\_  
Hayley Angel, Planner

**Director's Report from 8/8/2017 City Council Meeting**

- The request to conduct a Public Hearing and adopt an Ordinance for Specific Use Permit No. 155 for a Fitness and Health Center use for an approximately 4,144± square foot portion of a building generally located south of McDermott Drive and west of Century Parkway (503 W. McDermott Drive, Suite 100), for the Title Boxing Club, was approved.

<b>PLANNING &amp; ZONING COMMISSION</b>	<b>AGENDA COMMUNICATION</b>
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**AGENDA DATE:** September 5, 2017

**SUBJECT:** Consider a Final Plat for The Village at Twin Creeks, Phase Three, being 23.067± acres located in the Catharine Parsons Survey, Abstract No. 711; generally located west of Watters Road and south of Kennedy Drive. (PL-071717-0013) [The Village at Twin Creeks Phase Three]

**STAFF RESOURCE:** Madhuri Mohan, AICP  
Senior Planner

**PREVIOUS COMMISSION/COUNCIL ACTION:** Planned Development No. 108 – Adopted October, 2011  
Planned Development No. 108 – Amended January, 2014  
Preliminary Plat – Approved April, 2014

**LEGAL NOTICES:** None.

**ANTICIPATED COUNCIL DATE:** None.

**BACKGROUND**

The property is generally located west of Watters Road and south of Kennedy Drive. The properties to the north (across Kennedy Drive) and west (across Benton Drive) are zoned Planned Development PD No. 108 Single-Family SF. To the south, the property is zoned Planned Development PD No. 54 Multi-Family MF-18. The properties to the east (across Watters Road) are zoned Planned Development PD No. 54 Industrial Technology IT.

A Planned Development amendment was approved by City Council in January 2014 for the Village at Twin Creeks Development. The Preliminary Plat was approved in April 2014. The Final Plat is the last step in the development process.

The Final Plat shows 23.067± acres of land subdivided into 83 Residential Lots and six Open Space/HOA Lots. There are two (2) primary access points into the development; one (1) on Watters Road and one (1) on Kennedy Drive. The plat also shows various easements required and right-of-way to be dedicated for development of the property.

The Final Plat has been reviewed by the Technical Review Committee and meets the requirements of the Planned Development and the Allen Land Development Code.

**STAFF RECOMMENDATION**

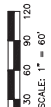
Staff recommends approval.

**MOTION**

*I make a motion to approve the Final Plat for the Village at Twin Creeks Phase 3; generally located west of Watters Road and south of Kennedy Drive.*

**ATTACHMENTS**

Final Plat



LUNE TABLE		
LUNE #	BEARING	DISTANCE
L1	N61°14'35"E	24.06'
L2	S19°07'23"E	133.41'
L3	N45°41'32"E	7.31'
L4	N3°27'04"E	56.91'
L5	N43°50'01"W	8.44'
L6	S19°19'39"W	8.14'
L7	N54°49'00"E	149.33'
L8	S20°02'02"W	10.26'
L9	S20°02'02"W	225.04'
L10	N67°00'28"E	6.92'
L11	N44°45'28"W	6.92'
L12	S64°11'35"E	50.46'
L13	N45°74'32"E	7.75'
L14	N45°00'00"E	7.75'

COWS TABLE					
COW#	LENGTH	WEIGHT	DELTA	ORIG LENGTH	BEARING
C1	148.09	250.07	3709.20	143.93	S 72.94° W
C2	147.01	250.05	3442.95	140.17	S 72.94° W
C3	151.49	250.01	1774.25	98.85	S 73.01° W
C4	141.34	30.46	4073.52	33.31	S 63.00° E
C5	42.02	30.46	26.44.98	41.64	S 133.07° W
C6	51.18	198.05	17.48.98	51.18	S 237.57° W
C7	147.01	250.05	3442.95	140.17	S 72.94° W
C8	147.01	250.05	3442.95	140.17	S 72.94° W
C9	113.17	184.07	24.70.98	112.27	S 129.04° E
C10	61.83	30.46	5000.02	56.57	N 44.02° W
C11	156.48	500.07	1473.91	138.35	S 87.20° W
C12	166.48	500.07	1473.91	166.44	S 73.00° W
C13	119.81	500.07	1735.94	119.52	N 20.04° E
C14	143.31	500.07	3679.94	33.38	N 69.04° E
C15	146.47	500.07	1737.94	145.68	S 49.04° W
C16	61.83	30.46	5000.02	56.57	S 251.00° W
C17	55.19	486.15	67.07.97	55.17	N 23.00° E
C18	120.27	250.05	2735.97	102.4	S 69.00° E

## NOTES

- [illegible]

ANCE CARTS ON THE  
D-11.

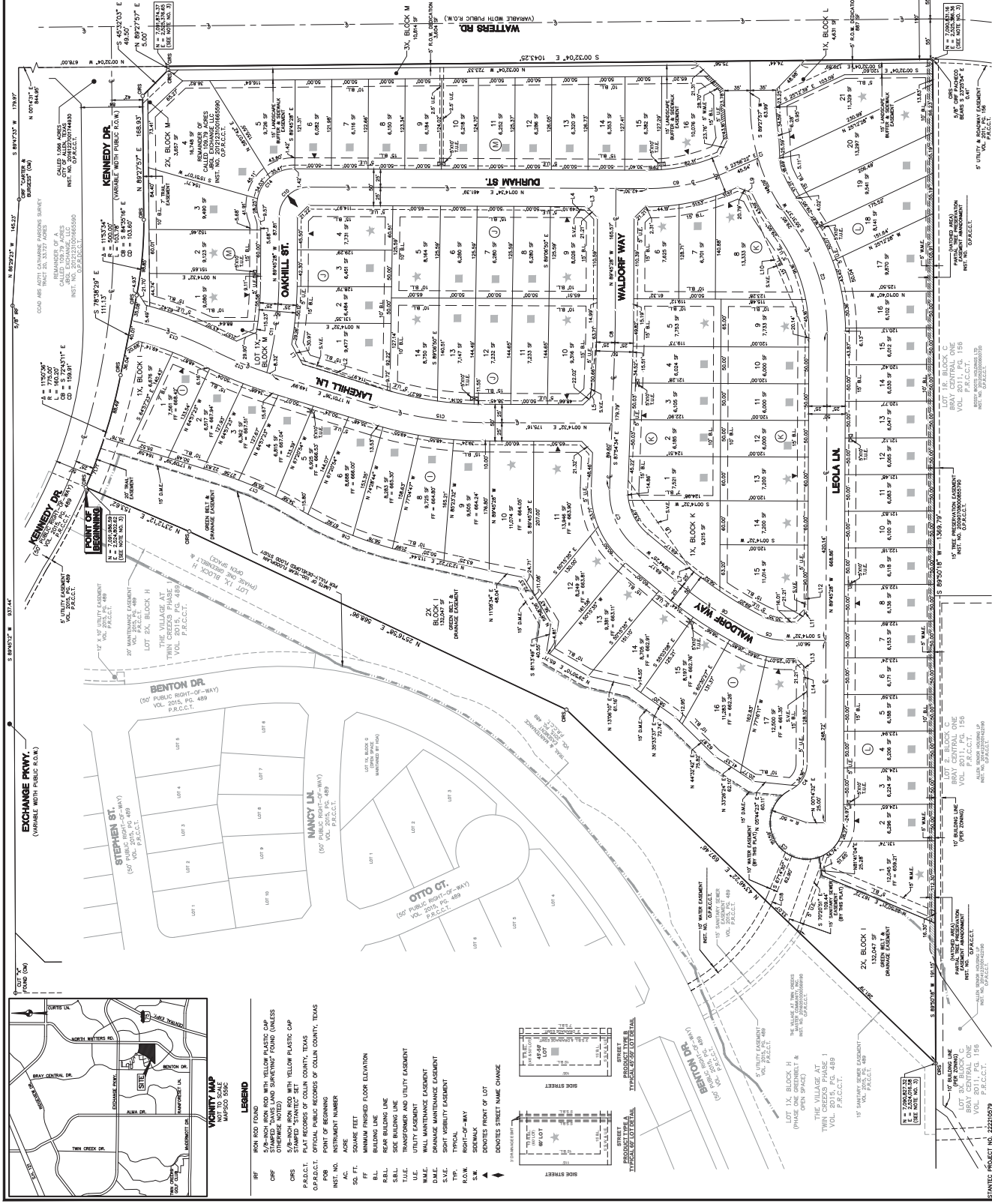
**Preliminary**  
This document shall not be  
recorded for any purpose.  
**For Review Purposes Only**  
Michael J. Murphy, R.P.L.S.  
Registration No. 5724  
August 29, 2017

**FINAL PLAT**  
**THE VILLAGE AT TWIN CREEKS**  
**PHASE THREE**

AN ADDITION TO THE CITY OF ALLEN, COLLIN COUNTY TEXAS  
LOCATED IN THE CATHARINE PARSONS SURVEY, ABSTRACT NO. 711  
83 RESIDENTIAL LOTS  
6 OPEN SPACE/HOA LOTS - 0.8351 ACRES  
TOTAL RIGHT-OF-WAY - 4.211 ACRES  
TOTAL AREA - 23.067 ACRES

August 30, 2017

**OWNER:**  
JBL EXCHANGE LLC  
2805 NORTH DALLAS PKWY, SUITE 400  
PLANO, TEXAS 75093  
PH: (469) 450-5585  
CONTACT: JED DOLSON





<b>PLANNING &amp; ZONING COMMISSION</b>	<b>AGENDA COMMUNICATION</b>
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<b>AGENDA DATE:</b>	September 5, 2017
<b>SUBJECT:</b>	Consider a Preliminary Plat for Ridgeview Crossing, being 75.155± acres located in the F. Dosser Survey, Abstract No. 280 and the G. Phillips Survey, Abstract No 701; generally located at the southwest corner of the intersection of Ridgeview Drive and Chelsea Boulevard. (PL-Pre-071817-0005) [Ridgeview Crossing]
<b>STAFF RESOURCE:</b>	Hayley Angel Planner
<b>PREVIOUS COMMISSION/COUNCIL ACTION:</b>	Alternative Screening Request – Approved June, 2016 General Development Plan – Approved July, 2016 Preliminary Plat – Approved September, 2016 Planned Development No. 130 – Approved June, 2017
<b>LEGAL NOTICES:</b>	None.
<b>ANTICIPATED COUNCIL DATE:</b>	None.

**BACKGROUND**

The property is generally located at the southwest corner of the intersection of Ridgeview Drive and Chelsea Boulevard. The properties to the north (across Ridgeview Drive) are zoned Planned Development PD No. 92 Corridor Commercial CC and Community Facilities CF. The properties to the west are zoned Community Facilities CF and Planned Development PD No. 92 Single-Family Residential R-3. To the south, the properties are zoned Planned Development PD No. 92 Single-Family Residential R-3, Planned Development PD No. 92 Single-Family Residential R-5, and Planned Development PD No. 92 Single-Family Residential R-7. To the east (across Chelsea Boulevard), the properties are zoned Planned Development PD No. 128 Corridor Commercial CC and Agricultural Open Space AO.

In 2016, an Alternative Screening Request, General Development Plan, and Preliminary Plat were approved for the subject property. A new Planned Development was adopted and approved by City Council in June 2017 for Single-Family Residential R-5 and Single-Family Residential R-6. Preliminary platting is the next step in the development process.

The subject Preliminary Plat shows 75.155± acres of land subdivided into 262 Residential Lots and 15 Open Space/HOA lots.

There are two (2) points of access into the development; one (1) on Ridgeview Drive and one (1) on Chelsea Boulevard.

The Preliminary Plat has been reviewed by the Technical Review Committee, is generally consistent with the Concept Plan, and meets the requirements of the Allen Land Development Code.

**STAFF RECOMMENDATION**

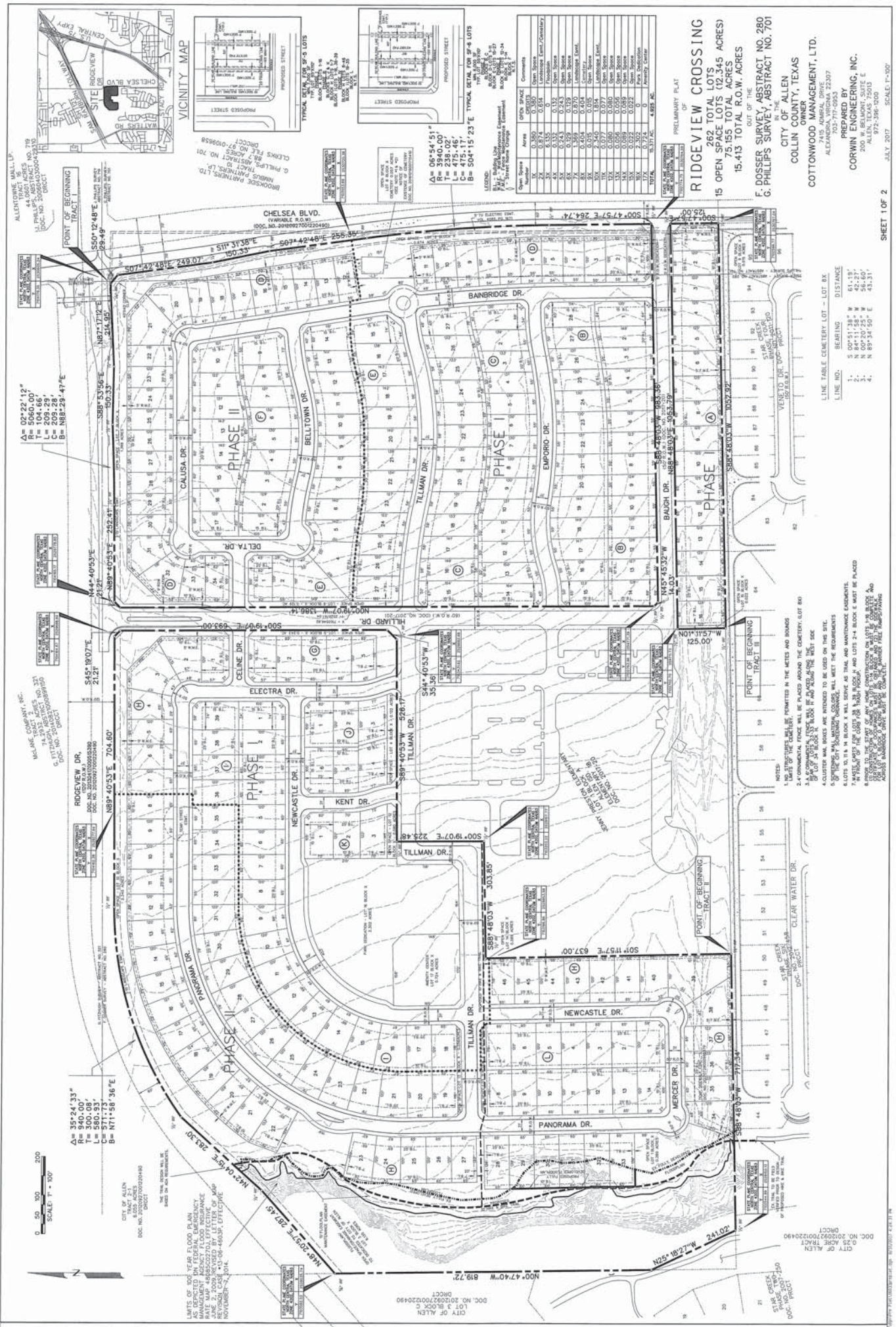
Staff recommends approval.

**MOTION**

*I make a motion to approve the Preliminary Plat for Ridgeview Crossing, generally located at the southwest corner of the intersection of Ridgeview Drive and Chelsea Boulevard.*

**ATTACHMENTS**

Preliminary Plat



## Treat 1

## Front LEGA

## Front LEGAL

## PRELIMINARY

262 TOTAL LOTS  
OPEN SPACE LOTS (12 345 ACRES)

OUT OF THE  
DOSSER SURVEY, ABSTRACT NO. 280  
OUR LIPS SURVEY, ABSTRACT NO. 704CITY OF ALLEN  
IN THE  
PHILLIPS SURVEY, ABSTRACT NO. 70

CITY OF FLEET  
COLLIN COUNTY, TEXAS  
OWNER

**COTTONWOOD MANAGEMENT, LTD.**  
7415 ADMIRAL DRIVE  
KELVINGROVE, VICTORIA 3207

PREPARED BY  
703-717-0953  
ALEXANDRIA, VIRGINIA 22307  
ACCOUNTING INFORMATION INC.

**CORWIN ENGINEERING, INC.**  
200 W. BELMONT, SUITE E  
ALLEN, TEXAS 75013  
409.336.4000

5/2-39-1200  
JULY 2017  
SCALE: 1"=100'  
SHEET 2 OF

<b>PLANNING &amp; ZONING COMMISSION</b> <b>AGENDA COMMUNICATION</b>
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<b>AGENDA DATE:</b>	September 5, 2017
<b>SUBJECT:</b>	Conduct a Public Hearing and consider a request to establish a Planned Development zoning district with a base zoning of Shopping Center SC and to adopt Development Regulations, a Concept Plan, and Building Elevations for an 8.472± acre tract of land situated in the William Perrin Survey, Abstract No. 708 and the Rufus Sewell Survey, Abstract No. 875; generally located at the southwest corner of the intersection of Bethany Drive and Greenville Avenue. (ZN-080717-0008) [Bethany Greenville Retail Center]
<b>STAFF RESOURCE:</b>	Lee Battle, AICP, LEED AP Acting Director of Community Development
<b>PREVIOUS COMMISSION/COUNCIL ACTION:</b>	Final Plat – Approved July, 1985 Vacation Plat – Approved August, 1999 Preliminary Plat – Approved August, 1999 Final Plat – Approved August, 1999
<b>LEGAL NOTICES:</b>	Public Hearing Sign – August 25, 2017 Public Hearing Notices – August 25, 2017
<b>ANTICIPATED COUNCIL DATE:</b>	September 26, 2017

**BACKGROUND**

The property is generally located at the southwest corner of the intersection of Bethany Drive and Greenville Avenue. The properties to the north (across Bethany Drive) are zoned Planned Development PD No. 3 Shopping Center SC. The properties to the west and south are zoned Light Industrial LI. The properties to the east (across Greenville Avenue) are zoned Planned Development PD No. 4 Shopping Center SC.

The property is currently zoned Light Industrial LI. The applicant is requesting to change the zoning by creating a Planned Development with a base zoning of Shopping Center SC for a mix of uses including retail, restaurant, fueling station, and mini-storage uses, and adopting Development Regulations, a Concept Plan, and Building Elevations for the property.

The attached Concept Plan shows approximately 8.472± acres with five proposed lots: Lot 1 for a 2,500 square foot restaurant building; Lot 2 for a 7,000 square foot retail building; Lot 3 for a 180,000 square foot mini-storage building; Lot 4 for a fueling station and an associated 5,773 square foot convenience store; and Lot 5 for a 6,750 square foot retail building.

The mini-storage building on Lot 3 will be climate-controlled with a maximum height of 5 stories and 55'. It is strategically located in the interior of the property and behind the retail, restaurant, and fueling station buildings. A loading space is shown on the southeastern portion of the building with enhanced landscaping provided for screening. The property will adhere to the "Mini-Warehouses/Public Storage" regulations as listed in the Development Regulations and the *ALDC*.

Lot 4 depicts a fueling station and convenience store located at the hard corner and oriented at an oblique angle to face the intersection of Bethany Drive and Greenville Avenue. The fueling station is further subject to the

recently adopted ALDC requirements, including that the vent stacks are enclosed in masonry canopy columns and that the fueling station canopy be designed with a mansard roof.

Landscaping meets ALDC standards. Parking provided also meets ALDC standards per lot, with an additional regulation for a cross-access easement for vehicle and pedestrian travel as well as cross-easements for parking to be granted between and among all lots.

There are a total of six (6) access points for the site; one (1) on Bethany Drive, one (1) on Greenville Avenue, and four (4) on the south and west sides of the property through a Fire Lane/Mutual Access easement. For efficient vehicular access and circulation, several traffic improvements will also take place including deceleration lanes and turn lanes on both Bethany Drive and Greenville Avenue.

All of the proposed buildings will be 100% masonry with primary exterior building materials consisting of stone, brick, and concrete. The maximum height of the retail and restaurant buildings will be one (1) story and 45'. The mini-storage building will be five (5) stories and 55'. The convenience store for the fueling station will be one (1) story with a maximum height of 22' and the fueling station canopy will be one (1) story with a maximum height of 19' (and 23' to the top of the canopy).

The attached development regulations include design standards to establish the Planned Development, including additional permitted uses, setbacks, parking and access easements, traffic requirements, and special zoning provisions for the Mini-Warehouses/Public Storage use.

The request has been reviewed by the Technical Review Committee and meets the requirements of the Allen Land Development Code.

### **STAFF RECOMMENDATION**

Staff recommends approval.

### **MOTION**

***I make a motion to recommend approval of the request to establish a Planned Development zoning district with a base zoning of Shopping Center SC and to adopt Development Regulations, a Concept Plan, and Building Elevations for an 8.472± acre tract of land; generally located at the southwest corner of the intersection of Bethany Drive and Greenville Avenue, for the Bethany Greenville Retail Center.***





### **ATTACHMENTS**

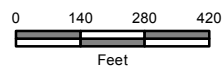
Property Notification Map  
Development Regulations  
Concept Plan  
Fueling Station Retail Elevations  
Fueling Station Canopy Elevations  
Rendering



**Property Ownership Notification**  
**Bethany Greenville Center**

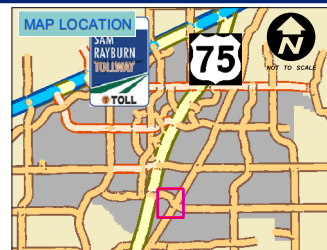
### Map Legend

-  Public Rezone
-  200' Notification Buffer
-  Railroad
-  CollinCAD Parcels



Planning & Development - GIS  
Date: 7/6/2017

NOTE: This map is only for illustration purpose only, please contact the City of Allen Planning & Development Department for specific rules and regulations.



**DRAFT OF PROPOSED DEVELOPMENT REGULATIONS FOR**  
**BETHANY GREENVILLE RETAIL CENTER**

The Property shall be developed and used in accordance with the provisions of the Allen Land Development Code, as amended, ("ALDC") except to the extent modified by the Development Regulations set forth below:

- A. **BASE ZONING DISTRICT:** The Property shall be developed and used in accordance with Shopping Center "SC" zoning regulations except as provided herein.
- B. **ADDITIONAL PERMITTED USES:** In addition to the uses permitted within the "SC" zoning district, the Property may be used and developed for the following purposes:
  - (1) Mini-warehouse/public storage, such use being limited to the area shown on the Concept Plan as "Lot 3";
  - (2) Fueling station, such use being limited to the area shown on the Concept Plan as "Lot 4"; and
  - (3) Target Range following approval of a Specific Use Permit for such use.
- C. **CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit "A" and incorporated herein by reference ("Concept Plan"). Minor modifications to street alignments that do not alter the general alignment shown on the Concept Plan may be made at the time of Site Plan approval.
- D. **BUILDING ELEVATIONS:** The buildings constructed on the Property shall be developed in general conformance with the Building Elevations (style and materials) attached hereto as Exhibit "B", and incorporated herein by reference (the "Elevations"). The red horizontal stripe around the fueling station canopy may not be more than six inches (6") wide as shown on the Fueling Station Canopy Elevations.
- E. **MAXIMUM PERCENT LOT COVERAGE:** 60%
- F. **SETBACKS:** Minimum setbacks shall be as shown on the Concept Plan.
- G. **PARKING AND ACCESS EASEMENTS:** Prior to or concurrently with approval of any plat subdividing the Property, one or more mutual access easements for vehicle and pedestrian travel and parking shall be granted between and among all lots within the Property providing for cross-access amongst all lots and the right of all lot owners and tenants to use parking areas on all other lots subject to such covenants, restrictions, and agreements as may be established relating to repair, maintenance, and replacement of such parking areas.
- H. **TRAFFIC:** Prior to issuance of the first Certificate of Occupancy for any building constructed on the Property, and subject to adjustment based on final designs approved by the Director of Engineering, the following shall be constructed as shown on the Concept Plan:
  - (1) Deceleration lanes on Bethany Drive and Greenville Avenue; and
  - (2) Right turn lane extension on Bethany Drive at Greenville Avenue.

- I. FUELING STATION STANDARDS:** Development and use of the Property for a fueling station shall comply with ALDC Section 6.06.2, as amended.
- J. MINI-WHAREHOUSE/PUBLIC STORAGE STANDARDS:** ALDC Section 6.06.5 “Mini-Warehouses/Public Storage” shall apply to the use and development of the mini-warehouse/public storage business operated on the Property with the following modifications and/or additions:
- (1) Notwithstanding ALDC Section 6.06.5.a, an on-site caretaker office and residence is permitted, but not required;
  - (2) Notwithstanding ALDC Section 6.06.5.c, the building housing the storage units may exceed one story, but shall not exceed five (5) stories, and in no case greater than fifty-five feet (55’), in height;
  - (3) Notwithstanding ALDC Section 6.06.5.d, if the building containing the storage units is more than one-story in height, roof-mounted mechanical equipment shall be permitted on the building, but only if screened from public view in accordance with ALDC sec. 7.03.3, as amended;
  - (4) Notwithstanding ALDC Section 6.06.5.i, if the mini-warehouse/public storage business developed on the Property provides for entry into storage units from an interior hallway, the exterior walls of the building may have exterior doors to provide access to the on-site office and caretaker residence, if applicable, and one or more garage doors to provide entry for vehicles into the building; provided, however, such garage doors must be located and screened as shown on the Concept Plan. In no case shall any door providing entry directly to a storage unit be visible from any public street or any adjacent property; and
  - (5) The prohibitions set forth in ALDC Section 6.06.5.k, regarding the conduct of sales, business or any activity other than storage within any individual storage unit shall include, but not be limited to, the conversion of any one or more storage units to an office, retail, or other non-residential use.

1. DECELERATION LANE ON BETHANY DRIVE
2. DECELERATION LANE ON GREENVILLE AVE
3. RIGHT TURN LANE EXTENSION ON BETHANY DRIVE AT GREENVILLE AVE

PHASE 1: LOTS 2 AND 3  
PHASE 2: LOT 4  
PHASE 3: LOT 1 AND 5  
THE PHASING STATED ABOVE IS CONCEPTUAL AND IS  
SUBJECT TO CHANGE.



PROPERTY LINE  
LANDSCAPE SETBACK  
CONTOUR  
EXISTING TREE  
PARKING COUNT  
LANDSCAPE AREA

1. APPLICANT SHALL COMPLY WITH ALL IRRIGATION REGULATIONS IN V.T.C.A. ADMINISTRATIVE CODE TITLE 30, CHAPTER 344 RULES ESTABLISHED BY THE STATE OF TEXAS; AND REQUIREMENTS FOR IRRIGATION DESIGN AND WATER CONSERVATION SET IN THE ALLEN LAND DEVELOPMENT CODE SECTION 7.05.6, AND THE CITY OF ALLEN WATER CONSERVATION AND DROUGHT CONTINGENCY AND EMERGENCY RESPONSE PLAN

LOT 1:  
LANDSCAPE REQUIRED: 4,171 S.F. (10%)  
LANDSCAPE / OPEN SPACE PROVIDED: 13,047 S.F. (31%)  
OPEN SPACE REQUIRED: 0

LANDSCAPE REQUIRED: 6,193 S.F. (10%)  
LANDSCAPE / OPEN SPACE PROVIDED: 16,801 S.F. (27%)  
OPEN SPACE REQUIRED: 0

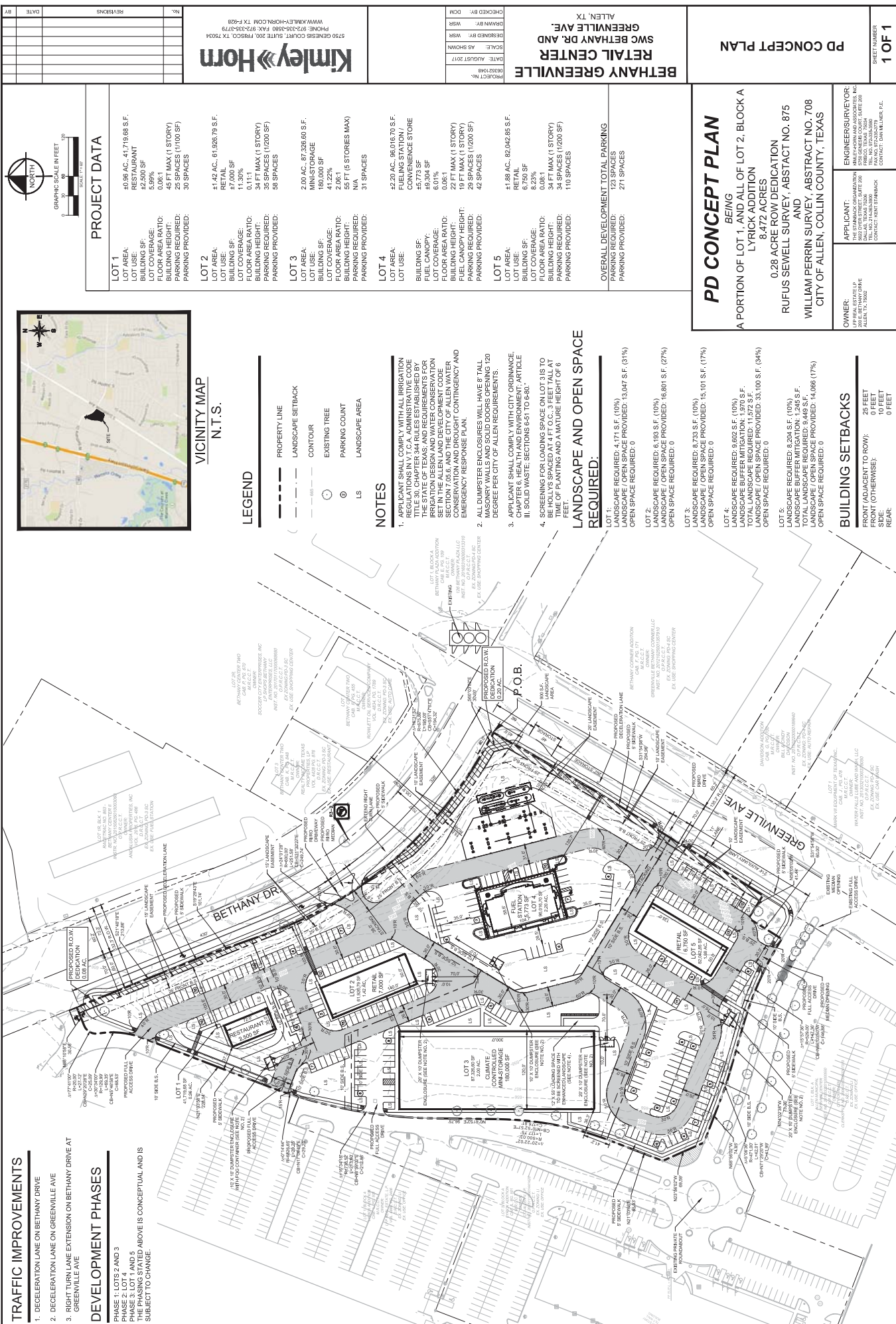
LANDSCAPE REQUIRED: 8,733 S.F. (10%)  
LANDSCAPE / OPEN SPACE PROVIDED: 15,101 S.F. (17%)  
OPEN SPACE REQUIRED: 0

LANDSCAPE REQUIRED: 9,602 S.F. (10%)  
LANDSCAPE BUFFER MITIGATION: 1,970 S.F.  
TOTAL LANDSCAPE REQUIRED: 11,572 S.F.

LOT 5:  
LANDSCAPE REQUIRED: 8,204 S.F. (10%)

LANDSCAPE / OPEN SPACE PROVIDED: 14,066 (17%)  
OPEN SPACE REQUIRED: 0

FRONT (ADJACENT TO ROW): 25 FEET  
FRONT (OTHERWISE): 0 FEET  
SIDE: 10 FEET  
REAR: 0 FEET



PORTION OF LOT 1, AND ALL OF LOT 2, BLOCK A  
LYRIC ADDITION  
8.472 ACRES  
0.28 ACRE ROW DEDICATION  
RUFUS SEWELL SURVEY, ABSTRACT NO. 875  
AND  
WILLIAM PERRIN SURVEY, ABSTRACT NO. 708

<b>OWNER:</b> LFP REAL ESTATE LP 200 E. BETHANY DRIVE ALLEN, TX, 75002	<b>APPLICANT:</b> THE STAINBACK ORGANIZATION 5622 DYER STREET, SUITE 200 DALLAS, TEXAS 75206 TEL: 972-358-3779 CONTACT: KENT STAINBACK	<b>ENGINEER/SURVEYOR:</b> JML PUGH AND ASSOCIATES, INC. 5715 GENSCH COURT, SUITE 200 IRVING, TEXAS 75039 TEL: 972-358-3779 FAX: NO. 972-358-3779 CONTACT: DAN MILLNER, P.E.
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<p><b>BETHANY GREENVILLE</b>  <b>RETAIL CENTER</b>  <b>SWC BETHANY DR. AND</b>  <b>GREENVILLE AVE.</b>  <b>ALLEN, TX</b></p>		<p>PROJECT NO. _____          DATE: AUGUST 2017</p>		<p>CHECKED BY: DOM          DESIGNED BY: WSR          SCALE: AS SHOWN</p>		<p>5750 GENESIS COURT, SUITE 200, FARGO, TX 75040          PHONE: 972.358.3888 FAX: 972.358.3779          WWW.KIMLEY-HORN.COM TX F-628</p>		<p>NO. _____          REVISIONS _____</p>		<p>DATE _____          BY _____</p>	
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GEN III Material Percentage Table

	FRONT FACADE:	SIDE FACADES:	REAR FACADE:
TOTAL	2187 SF	1125 SF	1863 SF
ATLAS BRICK	35%	41%	73%
PORCELAIN TILE	22%	24%	18%
TOTAL MASONRY	57%	65%	91%
FACIA/ CANOPY	14%	17%	5%
DOORS/ WINDOWS	23%	18%	4%

MASONRY (EXCLUDING DOORS/WINDOWS)			
TOTAL	80%	83%	96%

Building Height 22' - 0" Top of Cornice



22'-0" ATT Top of Cornice

18'-0" ATT Top of Masonry  
12'-0" ATT Bottom of Canopy  
10'-0" ATT Bottom of Canopy

East Elevation

South Elevation

West Elevation

North Elevation



City, State: Allen, TX

Address: SE Corner Bethany Dr. & Greenville

Store # 0926 Flat Entry w/ CL-44HV Rear Signage

Serial # 08-0926-BFPI

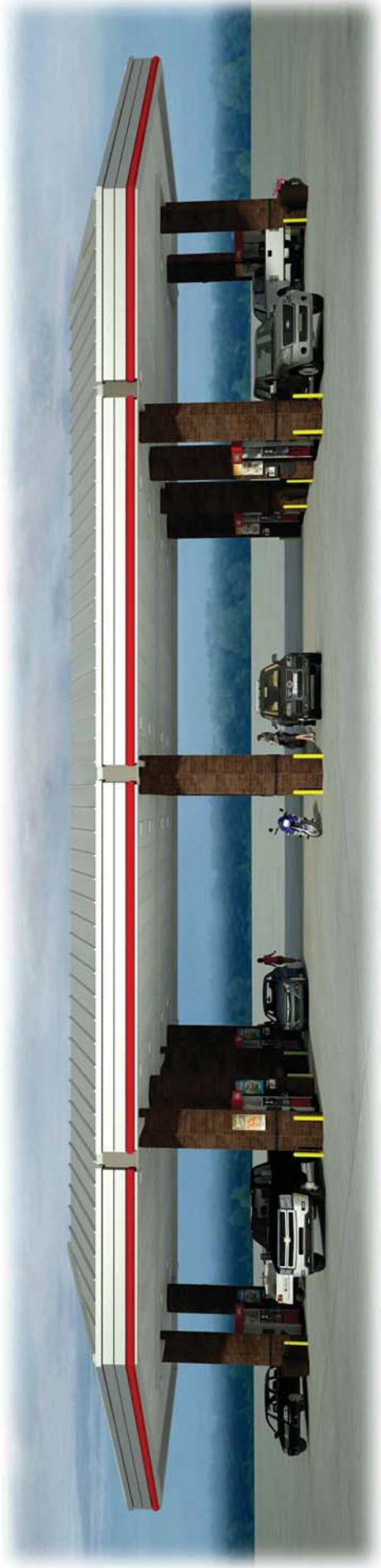
Scale: 1/16"=1'-0"

Issue Date: 06.23.17

Drawn By: TR

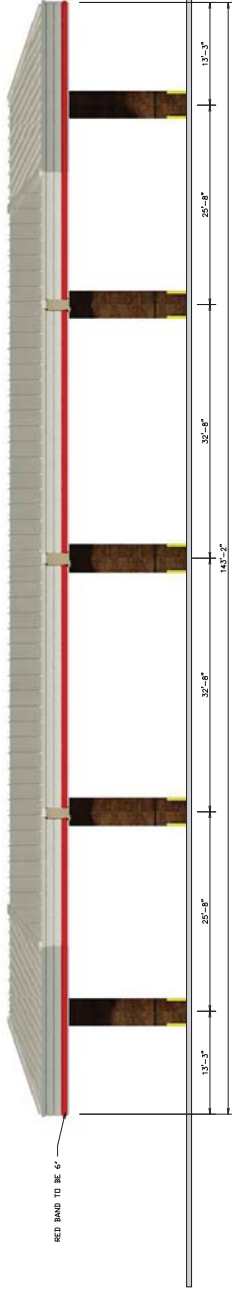
Rev/Notes:

ID	FINISH	MANUFACTURER	SPECIFICATION
1	ATLAS BRICK	ATLAS BRICK	ATLAS BRICK
2	PORCELAIN TILE	PORCELAIN TILE	PORCELAIN TILE
3	CL-44HV	CL-44HV	CL-44HV
4	CL-44HV	CL-44HV	CL-44HV
5	CL-44HV	CL-44HV	CL-44HV
6	CL-44HV	CL-44HV	CL-44HV
7	CL-44HV	CL-44HV	CL-44HV
8	CL-44HV	CL-44HV	CL-44HV
9	CL-44HV	CL-44HV	CL-44HV
10	CL-44HV	CL-44HV	CL-44HV

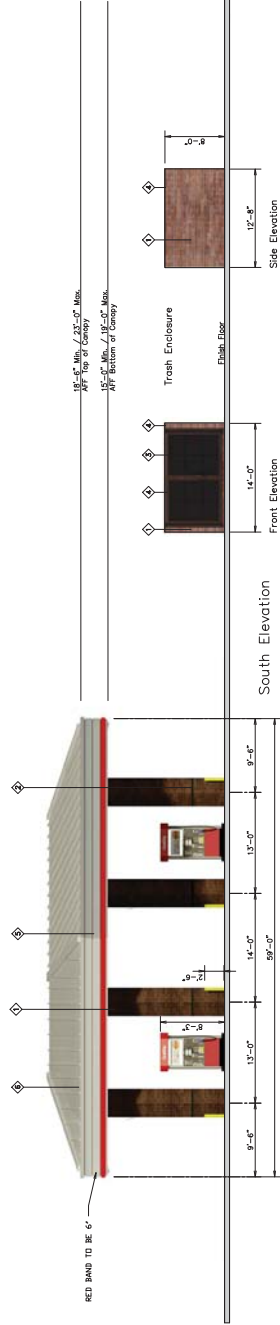


Top of Canopy 23' - 0"

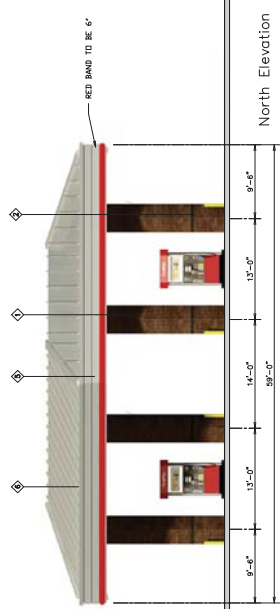
Canopy Material Percentage Table		
	FRONT/REAR FACADE:	SIDE FACADES:
TOTAL	772 SF	325 SF
ATLAS BRICK	272 SF = 35%	218 SF = 67%
FACIA/ CANOPY	430 S = 56%	92 SF= 28%
RED BAND (8'-6")	70 S = 9%	15 SF = 5%




East Elevation



South Elevation



North Elevation



Store #

0926 Double Stack 8 Canopy Elevations

Address:

SE Corner Bethany Dr. & Greenville

City, State:

Allen, TX

Serial #

08-0926-GD08

Issue Date:

08.23.17

Scale:

1/16" = 1'-0"

Drawn By:

JK

Rev/Notes:

⑥	FINISH	MANUFACTURER	SPECIFICATION
1	CONCRETE	CONCRETE	CONCRETE
2	PAINT	PAINT	PAINT
3	BRICK	BRICK	BRICK
4	ROOFING	ROOFING	ROOFING
5	TRASH ENCLOSURE	TRASH ENCLOSURE	TRASH ENCLOSURE
6	RED BAND	RED BAND	RED BAND

The height of the retail buildings is 30 feet except for the architectural elements at each front corner, which are 34 feet. The height of the Mini-Warehouse is 55 feet. These structures have not yet been designed, but as stated above, the masonry materials for the retail buildings will consist of acrylic textured coating over concrete panels, natural stone veneer, and/or modular face brick veneer. The masonry materials for the Mini-Warehouse will be stone veneer, brick veneer, stucco on metal studs, and/or textured acrylic coating over concrete panels. The retail buildings and the Mini-Warehouse will also have metal awnings, metal store fronts and glazing.



<b>PLANNING &amp; ZONING COMMISSION</b>	<b>AGENDA COMMUNICATION</b>
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**AGENDA DATE:** September 5, 2017

**SUBJECT:** Conduct a Public Hearing and consider a request to amend the Planned Development No. 45 zoning district to a base zoning of Shopping Center SC and to adopt Development Regulations, a Concept Plan, Open Space Plan, Sub-Area Plan, Phasing Plan, Sign Plan, Fire Lane Plan, and Building Elevations for a 79± acre tract of land situated in the L.K. Pigues Survey, Abstract No. 702, the Francis C. Wilmeth Survey, Abstract No. 999, and the Henry Wetsel Survey, Abstract No. 1026; generally located at the southwest corner of the intersection of Stacy Road and US Highway 75. (Z-091616-0086) [Stacy Green]

**STAFF RESOURCE:** Lee Battle, AICP, LEED AP  
Acting Director of Community Development

**PREVIOUS COMMISSION/COUNCIL ACTION:** Planned Development No. 45 – Adopted July, 1987

**LEGAL NOTICES:** Public Hearing Sign – August 25, 2017  
Public Hearing Notices – August 25, 2017

**ANTICIPATED COUNCIL DATE:** September 26, 2017

**BACKGROUND**

The property is generally located at the southwest corner of the intersection of Stacy Road and US Highway 75. The properties to the north (across Stacy Road) are zoned Planned Development PD No. 92 Single-Family Residential R-3, Planned Development PD No. 92 Single-Family Residential R-5, Planned Development PD No. 92 Shopping Center SC, and Planned Development PD No. 78 Corridor Commercial CC. The properties to the west are zoned Planned Development PD No. 93 Townhome TH, Planned Development PD No. 93 Single-Family Residential R-7, and Corridor Commercial CC. To the south, the property is zoned Corridor Commercial CC. To the east (across US Highway 75), the properties are zoned Planned Development PD No. 73 Shopping Center SC.

The property is currently zoned Planned Development PD No. 45 Corridor Commercial. The applicant is requesting to amend the Planned Development and change the base zoning to Shopping Center SC for a mixed-use development containing retail, restaurants, and urban residential uses. The PD Amendment includes Development Regulations, a Concept Plan, Building Elevations, Open Space Plan and Cross-Sections, Sub-Area Plan, Phasing Plan, Sign Plan, and Fire Lane Plan for the property. The rezoning to a mixed-use development is consistent with the Land Use Plan.

The Concept Plan includes four major areas: pad sites with retail and restaurant at the northern and eastern perimeter along Stacy Road and US Highway 75; floodplain along the western perimeter; urban residential on the southwestern portion of the property; and a mixed-use area within the center of the development.

A total of seventeen (17) pad sites are shown with retail and restaurant buildings totaling approximately 154,000± square feet. The attached pad site elevations show primary exterior building materials as brick and concrete with wood and metal accents.

The floodplain area is approximately 13.3± acres and will be dedicated to the City but maintained by the developer through a separate agreement. The existing floodplain may be modified and is subject to approval by the Engineering Department and FEMA through a CLOMR and LOMR. The floodplain will be dedicated to the City of Allen, but maintained by the developer through a separate maintenance or facility agreement. A 12' hike and bike trail is proposed within the floodplain along the western side of the development and will connect to existing trail to the north and will extend to the south.

The urban residential portion is approximately 16.2± acres. The Concept Plan shows five buildings and structured parking with a maximum height of 4 stories. A total of 699 units are proposed. The buildings have an urban styling and are primarily composed of stucco and stone with some accent metal elements and a flat composition shingle roof with varying parapets, as shown on the attached urban residential elevations. The attached development regulations provide a list of requirements that must be met when the urban residential portion will develop.

The mixed-use area in the center of the development is approximately 19± acres and includes a variety of potential uses such as a theater, hotel, office uses, and retail/restaurants uses totaling a building area of approximately 418,927± square feet. The office/retail representative elevation for the mixed-use area includes materials such as brick, concrete, and aluminum storefront with metal accents. Elevations include pedestrian features such as green screens, planters, benches, and pavers.

The attached Sub-Area Plan shows a total of five sub-areas and is included to distinguish the different characteristics of each area, including uses, height, and area regulations. A Phasing Plan is also included and shows a total of four phases, with the floodplain as the first phase; the perimeter infrastructure, pad sites, and a portion of the urban residential as the second phase; the mixed-use portion as the third phase, and the remaining urban residential as the fourth phase. A Firelane Plan is included to distinguish between 24' and 26' firelanes. A Sign Plan is also included to show the sign locations on the plan as well as specific sign elevations to be adopted with this PD Amendment. Single-tenant and multi-tenant monument signs are the primary sign types with two pylon signs along US Highway 75.

There are a total of eight (8) access points for the site; four (4) on Stacy Road and four (4) on US Highway 75. A Traffic Impact Analysis was conducted and several mitigation strategies will be included to alleviate traffic. Chelsea Boulevard will be extended as a private road from Stacy Road to US Highway 75 by the developer. A traffic signal is proposed at the intersection of Stacy Road and Sweetwater Lane. The developer will enter into an escrow agreement for the cost of the new traffic signal. Deceleration lanes and turn lanes will be constructed by the developer on Stacy Road and US Highway 75. Parking provided for the pad sites, urban residential, and mixed-use portion of the development meet ALDC standards.

The Open Space Exhibit shows the open space areas provided at 6.97± acres. Additionally, land will be acquired on the eastern side of US Highway 75 to complete the trail extension. The attached cross-sections provide cross-sections at the entrance of the Chelsea Road extension at US Highway 75, along the pad sites and urban residential development, and along the floodplain.

The attached development regulations include design standards to establish the Planned Development, including permitted uses, height and area regulations, a temporary use/special events section specifically for Subarea 5, the criteria for urban residential and fueling station uses, traffic mitigation, floodplain reconfiguration, landscaping, and tree mitigation requirements.

The request has been reviewed by the Technical Review Committee and meets the requirements of the Allen Land Development Code.

### **STAFF RECOMMENDATION**

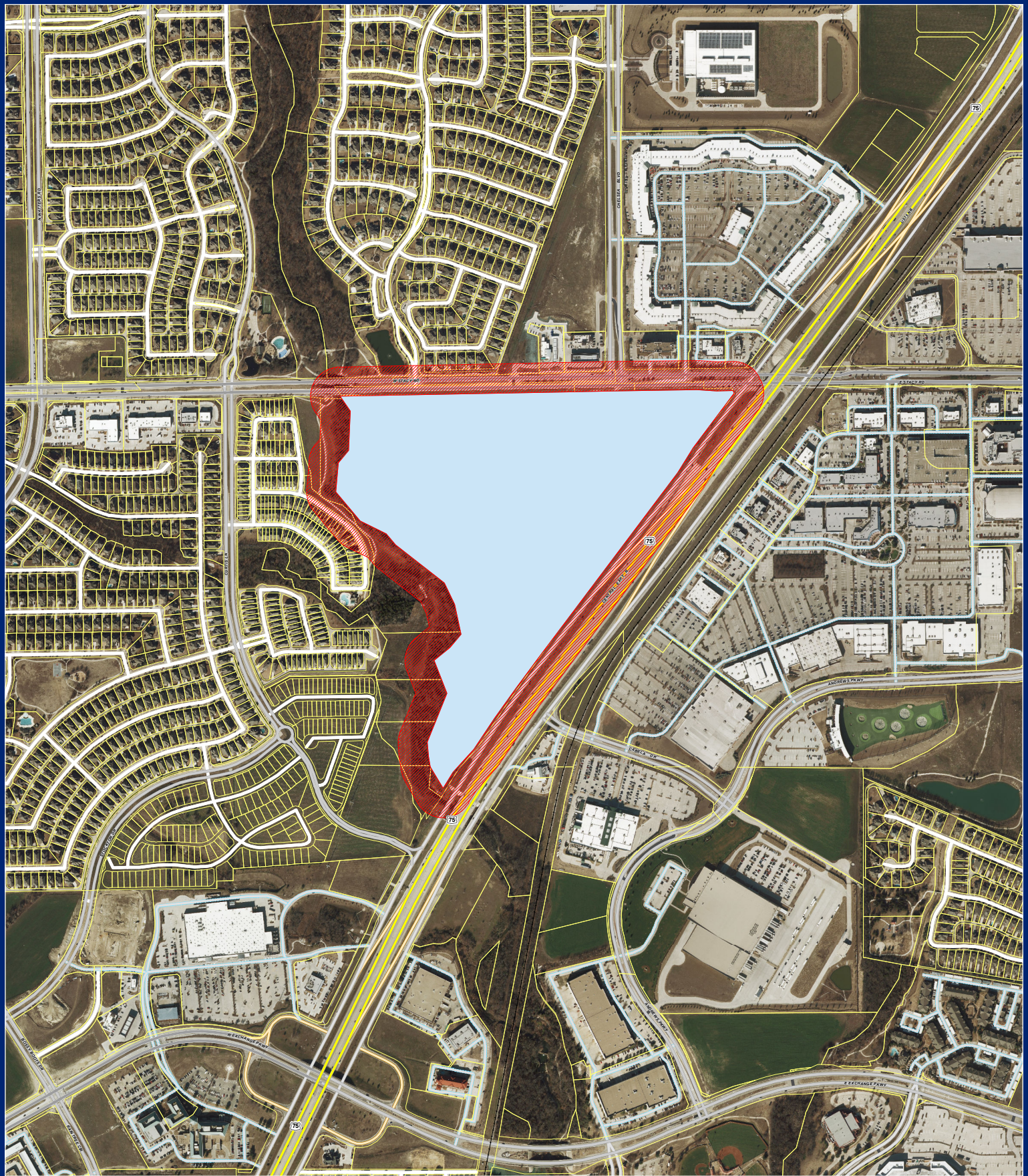
Staff recommends approval.

### **MOTION**

*I make a motion to recommend approval of the request to amend the Planned Development No. 45 zoning district to a base zoning of Shopping Center SC and to adopt Development Regulations, a Concept Plan, Open Space Plan, Sub-Area Plan, Phasing Plan, Sign Plan, Fire Lane Plan, and Building Elevations for a 79± acre tract of land; generally located at the southwest corner of the intersection of Stacy Road and US Highway 75, for Stacy Green.*

### **ATTACHMENTS**





Property Notification Map  
Development Regulations  
Concept Plan (Overall and Enlarged)  
Color Elevations  
Urban Residential Elevations  
Open Space Plan  
Sub-Area Plan  
Phasing Plan  
Sign Plan  
Fire Lane Plan  
Cross Sections  
Traffic Summary  
Renderings

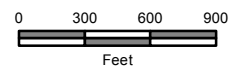


**CITY OF ALLEN**

Property Ownership Notification  
**Stacy Green**

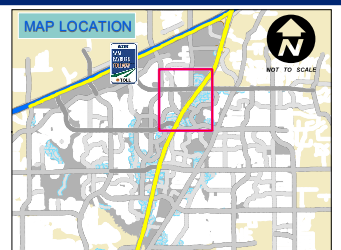
## Map Legend

-  Public Rezone
-  200' Notification Buffer
-  Railroad
-  CollinCAD Parcels



Planning & Development - GIS  
Date: 8/24/2017

NOTE: This map is only for illustration purpose only, please contact the City of Allen Planning & Development Department for specific rules and regulations.



**DRAFT OF PROPOSED DEVELOPMENT REGULATIONS FOR**  
**STACY GREEN**

The Property shall be developed and used in accordance with the provisions of the Allen Land Development Code, as amended, ("ALDC") except to the extent modified by the Development Regulations set forth below:

- A. **BASE ZONING DISTRICT:** The Property shall be developed and used in accordance with Shopping Center "SC" zoning regulations except as provided herein.
- B. **CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit "B" ("Concept Plan") and incorporated herein by reference. Minor modifications to streets, number and alignment of buildings, building areas and footprints, open spaces, and pedestrian access shown on the Concept Plan may be made at the time of Site Plan approval so long as the general alignment of streets, building areas, and lot layouts are substantially maintained and the location and boundaries of the various sub-areas identified on the Sub-Area Plan are not altered.
- C. **BUILDING ELEVATIONS:** The buildings constructed on the Property shall be developed in general conformance with the Building Elevations (style and materials) attached hereto as Exhibit "C" ("the Elevations"), and incorporated herein by reference.
- D. **SUB-AREA PLAN:** For purposes of enforcement of certain regulations relating to this Planned Development, the Property is divided into Sub-Areas 1 through 5, respectively, the boundaries of which are set forth on Exhibit "D" attached hereto and incorporated herein by reference ("the Sub-Area Plan"). References to a specific sub-area in this ordinance shall mean the portion of the Property within the boundaries of the area shown on the Sub-Area Plan that has been labeled with the referenced sub-area designation.
- E. **PHASING PLAN:** For purposes of determining the timing and order of development of certain areas of the Property in relation to development of other areas of the Property, portions of the Property are designated as Phases I through IV, respectively, as shown on the Phasing Plan attached hereto as Exhibit "E" and incorporated herein by reference ("the Phasing Plan"). The timing and order of development of the various Phases of the Property shall be subject to the following:
  - 1. No development permit of any kind will be issued for the areas of the Property within Phases II, III, of IV until a grading or development permit has been issued for development of the area of the Property within Phase I.
  - 2. No Certificate of Occupancy for any building constructed within the Phase II area of the Property shall be issued until one or more grading or development permits have been issued in relation to the development of all of the Phase I area of the Property and all streets, utilities, and other infrastructure required to be constructed with respect to the use and development of Phase II have been constructed and accepted by the Director of Engineering or authorized designee.
  - 3. No Building Permit shall be issued for the Urban Residential use in located within the Phase IV area of the Property until:
    - a. Building Permits have been issued and construction has commenced on no fewer than two buildings to be constructed within the Phase III area of the Property; and

- b. The green space located northeasterly of the “Retail B with 2<sup>nd</sup> Story Office B” building within the area of the Property located in Phase III as shown on the Open Space Plan has been constructed with all required landscaping and irrigation.

**F. PERMITTED USES:** In addition to the uses permitted in an SC District, the following shall be permitted uses on the Property within the identified Sub-Areas:

1. Convenience Store limited to Sub-Areas 1, 3 and 5.
2. Firearms Sale and Service limited to Sub-Areas 1, 2, 3 and 5, but only following approval of a Specific Use Permit.
3. Fueling Station limited to Pad 9 in Sub-Area 3, but only following approval of a Specific Use Permit.
4. Hotel limited to Sub-Areas 1, 2, and 5.
5. Museum/Art Gallery limited to Sub-Areas 1, 3 and 5.
6. Private Club limited to Sub-Areas 1, 2, 3 and 5, but only following approval of a Specific Use Permit.
7. Theatre limited to Sub-Areas 1, 3 and 5.
8. Upholstery Shop limited to Sub-Areas 2 and 3.
9. Urban Residential limited to Sub-Areas 1 and 5.

**G. HEIGHT AND SETBACK REGULATIONS:** All buildings constructed on the Property must comply with the height and setback provisions of the SC District except as modified below or elsewhere in this ordinance:

1. The minimum front yard shall be:
  - a. Sub-Area 1: 25 feet.
  - b. Sub-Area 5: 15 feet.
  - c. Pads 7, 8 and 9 within Sub-Area 3: 15 feet.
2. The maximum building height shall be:
  - a. Sub-Area 1: Three (3) stories, not to exceed 45 feet.
  - b. Sub-Area 2: Five (5) stories, not to exceed 65 feet.
  - c. Sub-Area 3: Three (3) stories, not to exceed 45 feet.
  - d. Sub-Area 5: Ten (10) stories, not to exceed 100 feet.

**H. TEMPORARY USE/SPECIAL EVENTS:** Temporary uses and special events conducted on the Property shall be conducted in accordance with Allen Land Development Code Section 6.04 “Temporary Uses and Special Events” subject to the following:

1. Temporary Uses and Special Events shall not be limited by number or duration in a calendar year;
2. Temporary Uses and Special Events must be held only in Sub-Area 5; and.
3. Temporary Use and Special Event locations may not obstruct fire lanes/emergency access points.

**I. URBAN RESIDENTIAL:** The use and development of Urban Residential shall be subject to ALDC Section 6.06.13 subject to the following:

1. The regulations applicable to the MF-18 zoning district shall apply except where such regulations are specifically addressed in this ordinance;
2. Buildings shall be constructed with urban styling conceptually similar to the Urban Residential elevations attached hereto as Exhibit “F” and incorporated herein by reference;
3. The parking ratio shall be at not less than 1.5 parking spaces per residential unit;
4. The maximum building height shall be four (4) stories, but not exceeding 55 feet;
5. Where shown on the Concept Plan, the first floor shall be retail ready, and shall be constructed with minimum 14-foot-high ceilings and mechanical chases necessary for conversion to commercial uses.

**J. FUELING STATION STANDARDS:** Development and use of the Property for a fueling station shall comply with ALDC Section 6.06.2, as amended, when an application for the Specific Use Permit is submitted.

**K. SIGNS:** Signs installed or constructed on the Property shall comply with ALDC Section 7.09 and in be located and designed in general conformance with the Sign Plan attached hereto as Exhibit “G” and incorporated herein by reference, subject to the following:

1. Pylon Sign 1 and the multi-tenant monument signs located on Pads 5 and 6 may identify any owner and/or tenant occupying a building constructed anywhere on the Property. All remaining signs may identify only an owner and/or tenant occupying a building constructed on the same lot on which the sign is located.
2. Any existing billboard(s) located on the Property must be removed prior to the issuance of a Certificate of Occupancy for any building constructed on the Property.

**L. TRAFFIC:**

**1. Driveway and Throat Depths:**

- a. The required minimum throat depth for driveways accessing US Highway 75 will be 73 feet measured from the existing US Highway 75 right-of-way.
- b. The required minimum throat depth for driveways accessing Stacy Road shall be as noted on the Concept Plan.

**2. Roadway Improvements:**

- a. Acceleration and Deceleration Lanes: The acceleration and deceleration lanes and concrete sidewalks shall be constructed and completed prior to the issuance of a Certificate of Occupancy for any building constructed on Sub-Area 1, 2, or 3.
- b. Traffic Signals and Pedestrian Crossings: Traffic signal modifications and pedestrian crossing at Chelsea Boulevard and Stacy Road, including new pedestrian heads and poles, must be completed prior to the issuance of a Certificate of Occupancy for any building constructed on Sub-Area 1, 2, or 3.
- c. Turn Lane Construction: An additional eastbound right turn lane on Stacy Road at the Southbound US Highway 75 Access Road and an additional southbound left turn lane on Chelsea Boulevard at Stacy Road, including appropriate striping and signal modifications to accommodate the proposed opposing turns lanes to operate concurrently, must be completed prior to the issuance of a Certificate of Occupancy for any building constructed on Sub-Area 1, 2, or 3.
- d. Chelsea Boulevard Extension: The private Chelsea Boulevard extension from Stacy Road to US Highway 75 shall be completed by the developer prior to the issuance of a Certificate of Occupancy for any building on Sub-Area 1, 2, or 3.
- e. Escrow: Prior to approval of a final plat for any portion of the Property, the owner and/or developer of the will enter into an escrow agreement with the City providing for the escrow of \$300,000 with the City to be used to pay for the design, purchase, and installation of a new traffic signal at Stacy Road and Sweetwater Lane ("the Signal") that provides as follows:
  - (1) \$100,000 is to be paid prior to any Certificates of Occupancy for any building constructed on the Phase II area of the Property.
  - (2) \$100,000 is to be paid prior to a Building Permit to be issued for any building constructed on any portion of the Phase III or Phase IV areas of the Property.
  - (3) \$100,000 is to be paid prior to issuance of a Certificate of Occupancy for any building constructed on the Phase III or Phase IV areas of the Property.
  - (4) Any funds escrowed with the City that remain unspent for the design, purchase, and installation of the Signal as of the fifth (5<sup>th</sup>) anniversary of the final payment made pursuant to this paragraph e. shall be refunded to the owner and/or developer as provided in the escrow agreement.

**M. FLOODPLAIN IMPROVEMENTS AND MAINTENANCE:** The floodplain area is to be dedicated to the City at the time of final plat. Prior to approval of a final plat for any portion of the Property, the owner and/or developer of the property must enter into an agreement(s) with the City setting for the terms and conditions relating to the responsibility for:

1. Development and maintenance standards for the flood plain and all improvements located within the floodplain;
2. Trail and trailhead improvements; and
3. Land acquisition necessary to complete recreational trail extensions and linkages.

**N. LANDSCAPING/OPEN SPACE:** The Property shall be developed in general conformance with the Open Space Plan attached hereto as Exhibit "H" and incorporated herein by reference, and subject to the following:

1. Drive A, Drive B and the Chelsea Boulevard extension shall meet the "Landscape buffer planting requirements" requirements of Section 7.05.3 of the ALDC.
2. The landscape buffer along US Highway 75 shall be 25 feet wide.
3. The landscape buffer along Stacy Road shall be an average width of 25 feet; with a minimum width of 20 feet west of Chelsea Boulevard and a minimum width of 15 feet east of Chelsea Boulevard.

**O. TREE MITIGATION:** The Property shall be developed in general conformance with the following:

1. The caliper inches of trees that must be replaced as the result of removal of trees during the course of development shall be reduced by 25% with respect to Hackberry trees that are removed.
2. Mitigation for removed protected trees will be accomplished by one or more of the following:
  - a. Additional trees planted on the Property in addition to trees that must be planted to comply with minimum landscaping requirements, whether set forth in the ALDC or this ordinance.
  - b. New trees planted that are larger than the required 3 caliper inches in diameter.
  - c. Payment to City Tree Fund in the amount of \$200 per negative credit.
  - d. Delivery of trees, species to be approved by the City arborist, not less than three (3) caliper inches in diameter to the City of Allen tree farm for offset of negative credits as follows: 1 caliper inch = 1 negative credit.

3. Unless specified herein, all other requirements for tree mitigation in Section 7.06 of the ALDC shall be applicable.
- P. FIRE LANE PLAN:** The Property shall be developed in general conformance with the Fire Lane Plan attached hereto as Exhibit “T” and incorporated herein by reference.
- Q. CROSS SECTIONS:** The Property shall be developed in general conformance with the Cross Sections attached hereto as Exhibit “J” and incorporated herein by reference. Minor modifications and changes in dimensions may be made at the time of Site Plan approval.

PROJECT TABULATIONS:

LOT 1

18,000 AC

26,700 SF

100' MAX

100' MAX

100' MAX

100' MAX

100' MAX

100' MAX

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ALTA/ACSM LAND TITLE SURVEY

78.324 ACRES (75.837 AC NET)

R.O.W. DEDICATION = 2.487 AC

L.K. FIGURES SURVEY, ABSTRACT NO. 702,

FRANCIS C. WILMETH SURVEY, ABSTRACT NO. 999

AND HENRY WETSEL SURVEY, ABSTRACT NO. 1026

CITY OF ALLEN, COLLIN COUNTY, TEXAS

OWNERS:

VSS Management, LLC

9507 Apple Falls Drive

Spring, TX 77379

Contact: Dorothy Stacy Wood

P: 214-626-3333

Nimble Partners, LP

#4 Royal Way

Dallas, TX 77379

Contact: Ann Hooper Stacy

PD AMENDMENT CONCEPT PLAN:

OVERALL SITE PLAN

Stacy Green

Allen, Texas

gff ARCHITECTS

2808 Fairmount Street, Suite 300

Dallas, Texas 75201 | 214.303.1500

Job #: 15233.03

File Name: sp-03.dwg

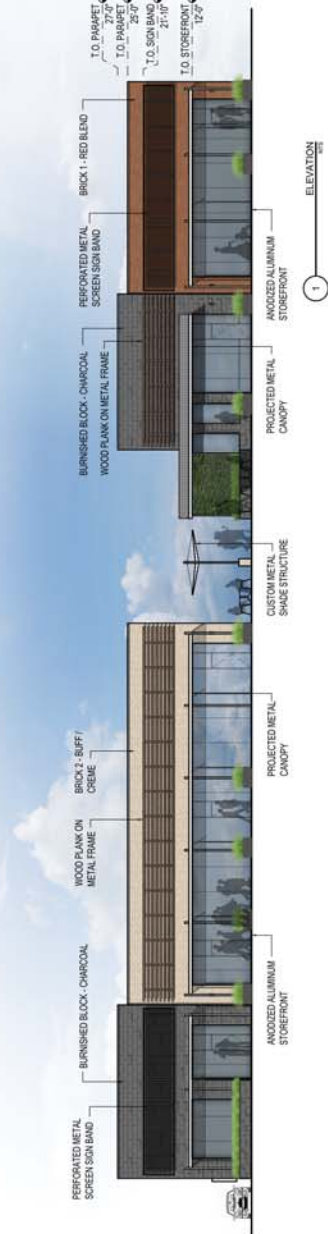
Date: 08.23.17

Drawn by: gaw

3300 West 7th Street, Suite 110

Fort Worth, Texas 76107 | 817.303.1500





MATERIAL KEY	
BURNISHED BLOCK - CHARCOAL	PERFORATED METAL - ATTACHED TO SIGN STRUCTURE
BRICK 1 - RED BLEND	WOOD - ATTACHED TO SIGN STRUCTURE
BRICK 2 - WARM WHITE	METAL - CANOPIES, COPING, SIGN STRUCTURE
PLASTER - WARM WHITE	

- BUILDINGS SHALL NOT EXCEED 45 FEET
- DESIGN SHALL INCLUDE VARIETY OF MATERIAL CHANGE, COLOR CHANGE, AND WALL SETBACK CHANGES
- FACADE SHALL HAVE MAXIMUM 10% NON-MASONRY MATERIAL ON EXTERIOR SURFACE OF ANY BUILDING FACADE (WOOD AND/OR METAL)

## CONCEPTUAL ELEVATIONS - PAD SITES

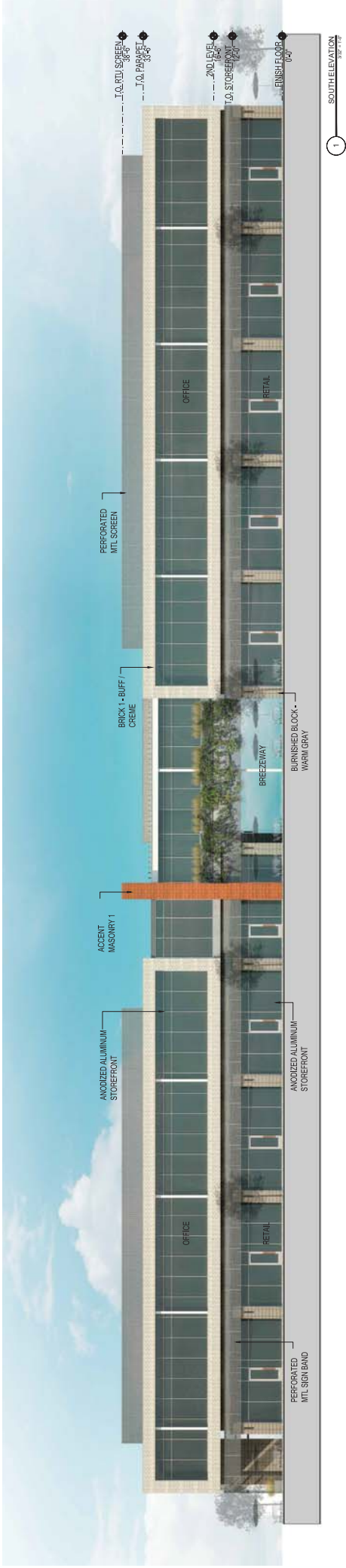
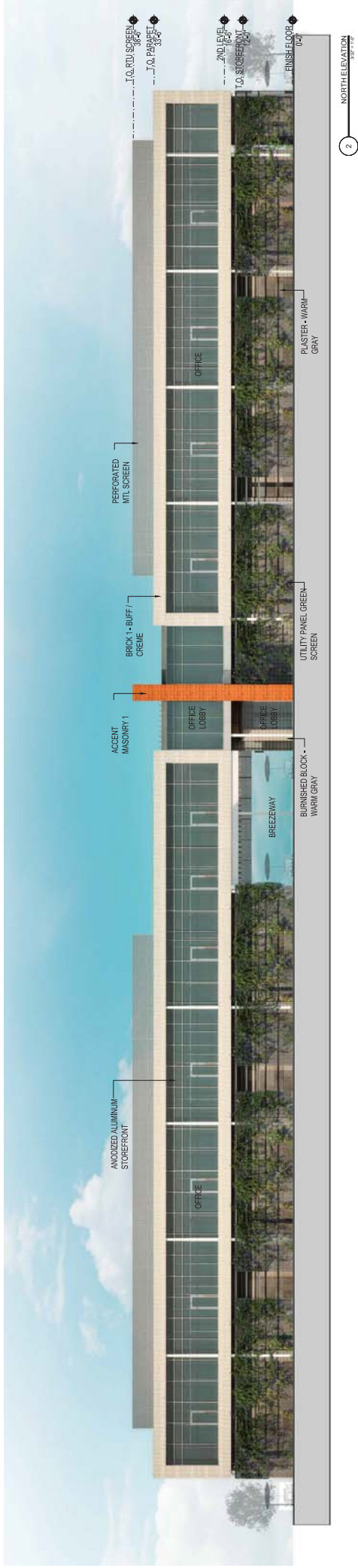
Stacy Green  
Allen, Texas

Job #: 15233  
File Name: Pad 6-12 Elev.dwg  
Date: 07/21/2017  
Drawn by: AG



2608 Fairmount Street, Suite 300  
Dallas, Texas 75201 | 214.303.1900

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Fort Worth, Texas 76107 | 817.303.1500



- BUILDINGS SHALL NOT EXCEED 100 FEET
- PROJECT SHALL INCORPORATE PEDESTRIAN FEATURES SUCH AS PLANTERS, BENCHES, SPECIAL PAVERS, AND LIGHTING FEATURES

MATERIAL KEY	
BURNISHED BLOCK - CHARCOAL GRAY	PERFORATED METAL - ATTACHED TO SIGN STRUCTURE
BRICK 1 - WARM WHITE	WOOD - ATTACHED TRELLIS STRUCTURE
ACCENT MASONRY 1	METAL - CANOPIES, COPING, SIGN STRUCTURE
PLASTER - WARM GRAY	GREEN SCREEN

## CONCEPTUAL ELEVATIONS - OFFICE OVER RETAIL

Stacy Green  
Allen, Texas

Job #: 15233  
File Name: OFFICE OVER RETAIL ELEVNS\_03.dwg  
Date: 07/21/2017  
Drawn by: AG/EA



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TYPICAL RESIDENTIAL



AT LEASING



AT BUILDING C&E

- MATERIALS INCLUDE:
- STUCCO, TAUPE, BROWN, TAN
  - CULTURED STONE OR BRICK, BUFF
  - METAL ROOF, SLATE
  - METAL CANOPY, GRAY
  - PERFORATED METAL SCREEN
  - METAL HANDRAIL, BLACK
  - PREFABRICATED METAL COPING
- BUILDINGS SHALL NOT EXCEED 65 FEET
- PROJECT SHALL INCORPORATE PEDESTRIAN FEATURES SUCH AS PLANTERS, BENCHES, SPECIAL PAVERS, LIGHTING FEATURES, ETC.
- DESIGN SHALL INCLUDE VARIETY OF MATERIAL CHANGE, COLOR CHANGE, WALL SETBACK CHANGE, ETC.

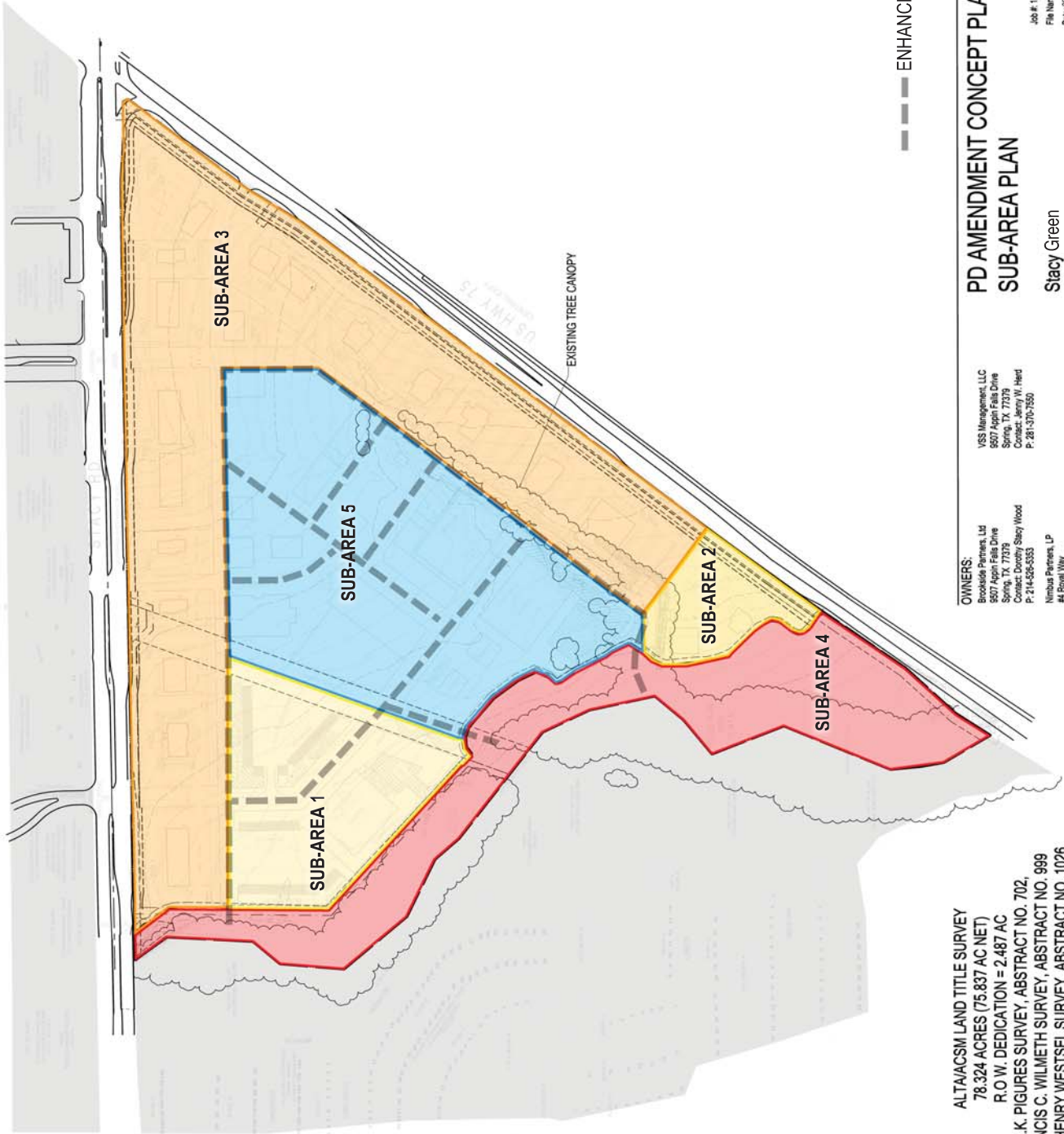
CONCEPTUAL ELEVATIONS



SCALE : 1/8"= 1'-0"

16044: STACY GREEN  
 ALLEN, TX  
 PROVIDENT REALTY  
 07/21/2017





ALTAIACSM LAND TITLE SURVEY  
 78.324 ACRES (75.837 AC NET)  
 R.O.W. DEDICATION = 2.487 AC  
 L.K. FIGURES SURVEY, ABSTRACT NO. 702,  
 FRANCIS C. WILMETH SURVEY, ABSTRACT NO. 999  
 AND HENRY WESTSEL SURVEY, ABSTRACT NO. 1026  
 CITY OF ALLEN, COLLIN COUNTY, TEXAS

OWNERS:  
 Brookside Partners, Ltd  
 9507 Apollo Falls Drive  
 Spring, TX 77379  
 Contact: Dorothy Stacy Wood  
 P: 214-325-5353

Nimbus Partners, LP  
 44 Royal Way  
 Dallas, TX 77379  
 Contact: Ann Hooper Stacy

VSS Management, LLC  
 9507 Apollo Falls Drive  
 Spring, TX 77379  
 Contact: Jerry W. Heid  
 P: 281-370-1550

## PD AMENDMENT CONCEPT PLAN :

### SUB-AREA PLAN

Stacy Green  
 Allen, Texas



Job #: 15233.03  
 File Name: sp-30.dwg  
 Date: 08/03/17  
 Drawn by: mtl\_gwr

2808 Fairmount Street, Suite 300  
 Dallas, Texas 75201 | 214.303.1500

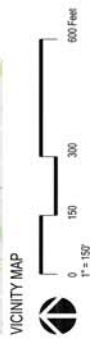
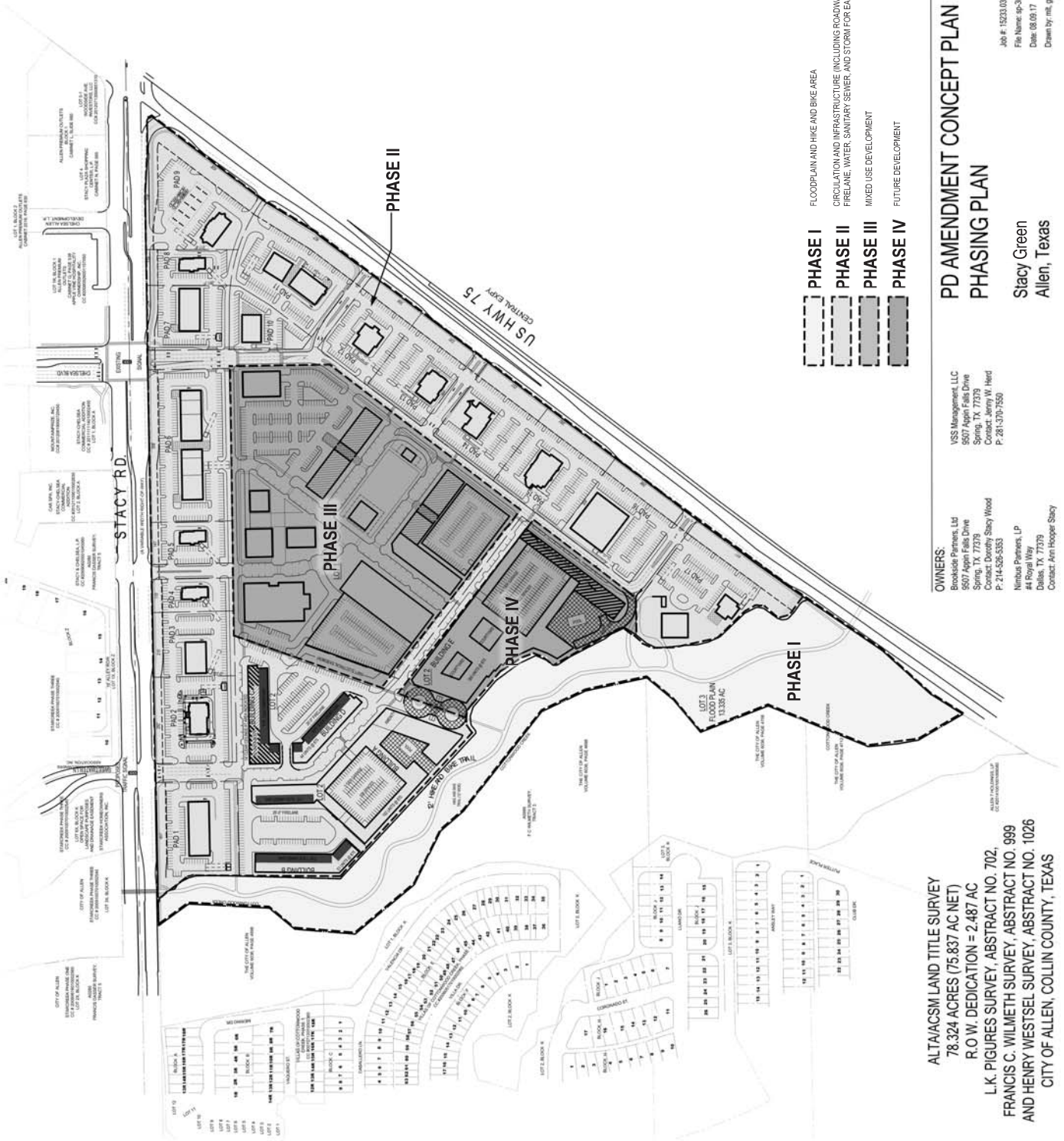
3300 West 7th Street, Suite 110  
 Fort Worth, Texas 76107 | 817.303.1500



VICINITY MAP

--- ENHANCED CIRCULATION





- PHASE I** FLOODPLAIN AND HIKE AND BIKE AREA
- PHASE II** CIRCULATION AND INFRASTRUCTURE (INCLUDING ROADWAY IMPROVEMENTS, FREELANE, WATER, SANITARY SEWER, AND STORM FOR EACH LOT)
- PHASE III** MIXED USE DEVELOPMENT
- PHASE IV** FUTURE DEVELOPMENT

**ALTA/ACSM LAND TITLE SURVEY**  
78.324 ACRES (75.837 AC NET)  
R.O.W. DEDICATION = 2.487 AC  
L.K. FIGURES SURVEY, ABSTRACT NO. 702,  
FRANCIS C. WILMETH SURVEY, ABSTRACT NO. 999  
AND HENRY WESTSEL SURVEY, ABSTRACT NO. 1026  
CITY OF ALLEN, COLLIN COUNTY, TEXAS

**OWNERS:**  
Brookside Partners, Ltd  
5507 Agnes Falls Drive  
Spring, TX 77379  
Contact: Dorothy Stacy Wood  
P: 214-525-5353

**Nimbus Partners, LP**  
44 Royal Way  
Dallas, TX 77379  
Contact: Ann Hooper Stacy

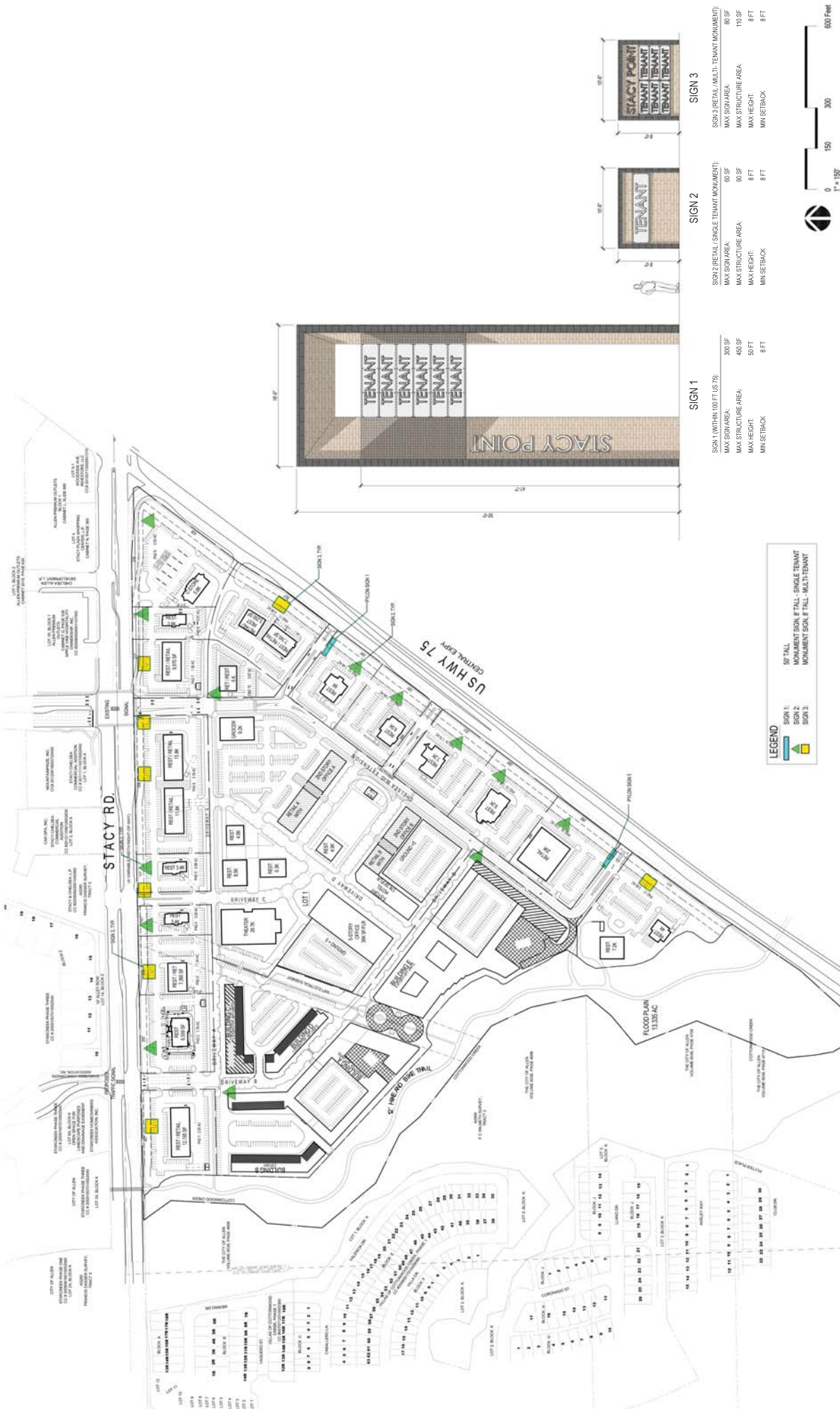
**VSS Management, LLC**  
5507 Agnes Falls Drive  
Spring, TX 77379  
Contact: Jimmy W. Herd  
P: 281-370-7550

**PD AMENDMENT CONCEPT PLAN :**  
**PHASING PLAN**

**Stacy Green**  
Allen, Texas

**Job #:** 15233.03  
**File Name:** sp-30.dwg  
**Date:** 08/09/17  
**Drawn by:** mt\_gaw

**gff ARCHITECTS**  
2808 Fairmount Street, Suite 300  
Dallas, Texas 75201 | 214.303.1500  
3300 West 7th Street, Suite 110  
Fort Worth, Texas 76107 | 817.303.1500



**ALTA/CSM LAND TITLE SURVEY**  
 78.324 ACRES (75.837 AC NET)  
 R.O.W. DEDICATION = 2.487 AC  
 L.K. PIGUES SURVEY, ABSTRACT NO. 702,  
 FRANCIS C. WILMETH SURVEY, ABSTRACT NO. 999  
 AND HENRY WEISEL SURVEY, ABSTRACT NO. 1026  
 CITY OF ALLEN, COLLIN COUNTY, TEXAS

**OWNERS:**  
 Brookside Partners, Ltd  
 5507 Apple Falls Drive  
 Spring, TX 77379  
 Contact: Dorothy Stacy Wood  
 P: 214-535-5353

Nimbus Partners, LP  
 44 Royal Way  
 Dallas, TX 77379  
 Contact: Ann Hooper Stacy

**VSS Management, LLC**  
 5507 Apple Falls Drive  
 Spring, TX 77379  
 Contact: Jenny W. Heid  
 P: 281-537-1550

**PD AMENDMENT CONCEPT PLAN:  
 SIGNAGE PLAN**

Stacy Green  
 Allen, Texas

**gff ARCHITECTS**

2508 Fairmount Street, Suite 300  
 Dallas, Texas 75201 | 214.303.1500

Job #: 15233.03  
 File Name: sp-30.dwg  
 Date: 08.23.17  
 Drawn by: gvw

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**SIGN 1 (WITHIN 100 FT US 75)**

MAX SIGN AREA	300 SF
MAX STRUCTURE AREA	450 SF
MAX HEIGHT	50 FT
MIN SETBACK	8 FT

**SIGN 2 (RETAIL / SINGLE TENANT MONUMENT)**

MAX SIGN AREA	60 SF
MAX STRUCTURE AREA	90 SF
MAX HEIGHT	8 FT
MIN SETBACK	8 FT

**SIGN 3 (RETAIL / MULTI-TENANT MONUMENT)**

MAX SIGN AREA	60 SF
MAX STRUCTURE AREA	110 SF
MAX HEIGHT	8 FT
MIN SETBACK	8 FT

**LEGEND**

- SIGN 1: MONUMENT SIGN, 8' TALL - SINGLE TENANT
- SIGN 2: MONUMENT SIGN, 8' TALL - MULTI-TENANT
- SIGN 3: MONUMENT SIGN, 8' TALL - MULTI-TENANT

**SCALE**  
 1" = 150'

**600 Feet**

FIRELANES ARE SHOWN FOR LOCATION ONLY. RADII WILL BE ADJUSTED WITH FINAL SITE PLAN TO MEET CRITERIA.

26' FIRELANES WILL BE PROVIDED WHERE BUILDINGS ARE 30' OR TALLER.

24'-0" FIRE LANE  
26'-0" FIRE LANE

MATCH LINE

MATCH LINE

VICINITY MAP

24'-0" FIRE LANE

26'-0" FIRE LANE



0 100 200 400 Feet  
1" = 100'

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# STACY RD.

LOT 1X, BLOCK 4

PROPOSED TRAFFIC SIGNAL

EXISTING SIGNAL

(A VARIABLE WIDTH RIGHT-OF-WAY)

LOT 1X, BLOCK 4

LOT 1X, BLOCK 4

LOT 1X, BLOCK 4

LOT 1X, BLOCK 4

**OPEN SPACE CALCULATIONS**  
 URBAN RESIDENTIAL UNIT COUNT 699 UNITS  
 OPEN SPACE PROVIDED 303,576 SF (6.97 AC)  
 REQUIRED OPEN SPACE (1 AC PER 75 UNITS) 9.32 AC

MATCH LINE

FLOOD PLAIN  
13,335 AC

THE CITY OF ALLEN  
VOLUME 600K PAGE 4759

THE CITY OF ALLEN  
VOLUME 600K PAGE 4713

THE CITY OF ALLEN  
VOLUME 600K PAGE 4713

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US HWY 75  
CENTRAL EXPR

MATCH LINE



## PD AMENDMENT CONCEPT PLAN: OPEN SPACE PLAN

Stacy Green  
Allen, Texas



ALTA/ACSM LAND TITLE SURVEY  
 78.324 ACRES (75.837 AC NET)  
 R.O.W. DEDICATION = 2.487 AC  
 L.K. PIGUES SURVEY, ABSTRACT NO. 702,  
 FRANCIS C. WILMETH SURVEY, ABSTRACT NO. 999  
 AND HENRY WETSEL SURVEY, ABSTRACT NO. 1026  
 CITY OF ALLEN, COLLIN COUNTY, TEXAS

Job #: 15233.03  
 File Name: sp-20.dwg  
 Date: 08.31.17  
 Drawn by: mt\_gwr

2808 Fairmount Street, Suite 300  
 Dallas, Texas 75201 | 214.303.1500  
 3300 West 7th Street, Suite 110  
 Fort Worth, Texas 76107 | 817.303.1500



02

## SECTION AT DRIVEWAY B



01

## SECTION AT CHELSEA BLVD



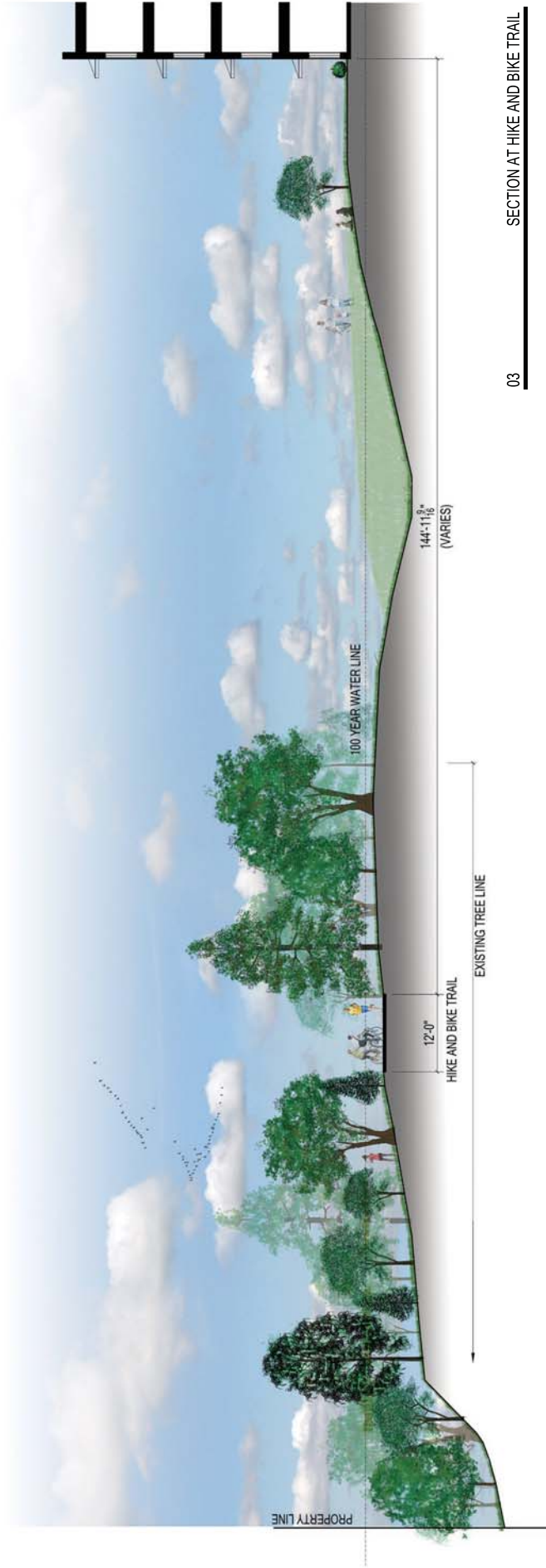
## SITE CROSS SECTIONS

Stacy Green  
Allen, Texas

Job #: 15233.03  
File Name: streetsections.psd  
Date: 08.23.17  
Drawn by: vc



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Dallas, Texas 75201 | 214.303.1500



03 SECTION AT HIKE AND BIKE TRAIL

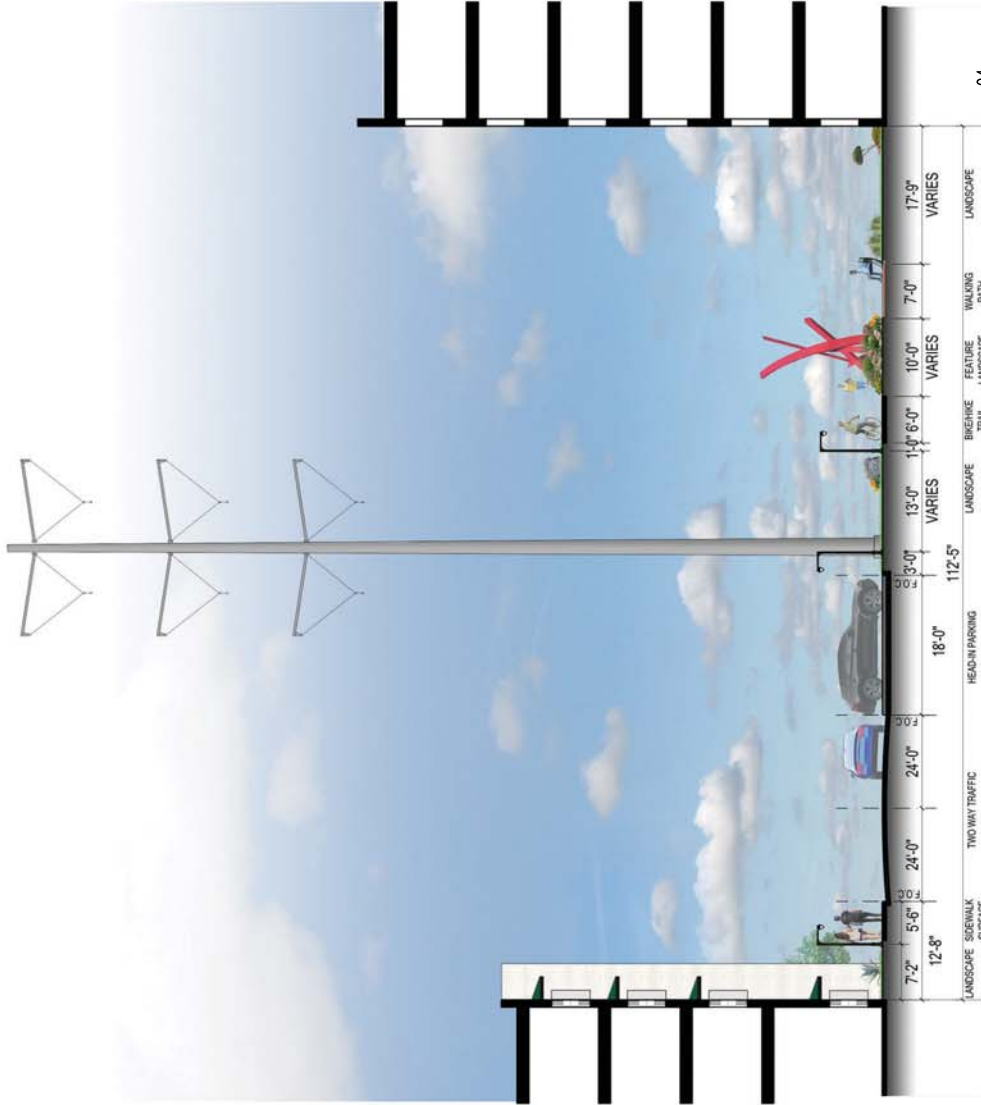


SITE CROSS SECTIONS

Stacy Green  
Allen, Texas

Job #: 15233.03  
File Name: sitecrosssections 2.psd  
Date: 08.22.17  
Drawn by: vc

2808 Fairmount Street, Suite 300  
Dallas, Texas 75201 | 214.303.1500  
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Fort Worth, Texas 76107 | 817.263.1500



SECTION AT UTILITY EASEMENT

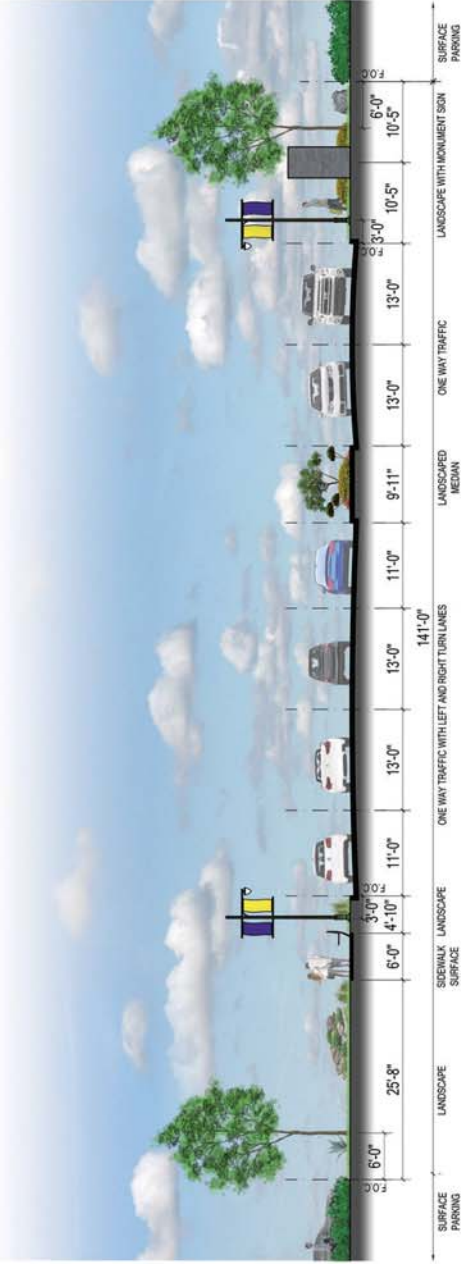


## SITE CROSS SECTIONS

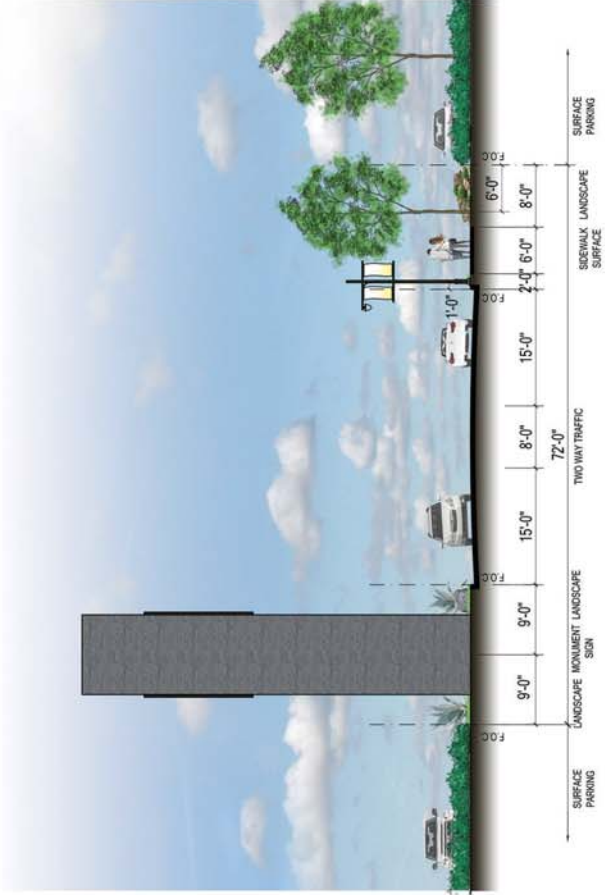
Stacy Green  
Allen, Texas

Job #: 15233.03  
File Name: sitecrosssections\_3.psd  
Date: 08.22.17  
Drawn by: vc

2808 Fairmount Street, Suite 300  
Dallas, Texas 75201 | 214.303.1500  
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Fort Worth, Texas 76107 | 817.303.1500



05 SECTION AT SOUTHBOUND  
CHELSEA BLVD AND STACY RD



06 SECTION AT US HWY 75 FRONTAGE ENTRY



## SITE CROSS SECTIONS

Stacy Green  
Allen, Texas

Job #: 15233.03  
File Name: streetscapes 4.rvt  
Date: 08.22.17  
Drawn by: vc



2808 Fairmount Street, Suite 300  
Dallas, Texas 75201 | 214.303.1500  
3300 West 7th Street, Suite 110  
Fort Worth, Texas 76107 | 817.263.1500

MEMO

To: Chris Flanigan, P.E.  
Director of Engineering Services  
City of Allen

From: Dharmesh Shah, P.E., PTOE  
Vice President

Date: August 18, 2017

Re: Stacy Point TIA Review Summary

**DeShazo Group, Inc.** (DeShazo) were retained by **Winkelmann & Associates** to conduct a Traffic Impact Analysis (TIA) for the proposed *Stacy Point Mixed-Use Development* ("the Project") located at the southwest corner of US 75 and Stacy Road in Allen, Texas. The project will consist of approximately 78.3 acres for mixed used development containing apartments, hotel, multiplex theatre, office building, shopping centers, and supermarket, gas station with market and car wash and restaurants. The project will be build out in three phases. Full buildout of the Project is estimated to occur in 2022.

The following provides a summary of the Traffic Impact Analysis review:

- **Trip Generation - Stacy Point Development**
  - At build out, the proposed development is expected to generate 43,468 daily trips on a typical weekday and 48,812 trips on a typical Saturday.
  - During the PM peak hour of a typical weekday, the proposed development is expected to generate 2,382 trips.
  - During the Saturday peak hour, the proposed development is expected to generate 3,647 trips.
- **Stacy Road Traffic Volumes between US 75 and Chelsea Boulevard**
  - The table below identifies existing and projected (with Stacy Point build out) hourly volumes on Stacy Road between Chelsea Boulevard and US 75 Southbound Frontage Road).

Stacy Road (Between US 75 Southbound Frontage Road and Chelsea Blvd.)

Traffic Volumes & Level of Service

	PM Peak Hour Volumes		Saturday Peak Hour Volumes	
	Eastbound	Westbound	Eastbound	Westbound
Existing	1,588 (C)	1,558 (C)	1,734 (C)	1,534 (C)
With Stacy Point (2022)	2,252 (E)	2,264 (E)	2,774 (F)	2,526 (E)

As shown in the table above, with the full build out of the proposed Stacy Point development, traffic volumes on Stacy Road are expected to increase by more than 40 percent during the weekday PM peak hour and by 60 percent or more during the Saturday peak hour.

The TIA indicates that Stacy Road has adequate capacity at Phase IB build out and will operate at LOS D. At full site build out, the TIA shows that Stacy Road will operate at unacceptable level of service E. It should be noted that the link capacity shown in the TIA assumes Stacy Road as a seven-lane divided roadway. Stacy Road is a six-lane divided principal arterial.

The table above shows Stacy Road level of service based on directional link capacity analysis and assuming Stacy Road as a six-lane divided roadway.

- **Traffic Operations**

- Stacy Road at Chelsea Boulevard: The proposed development plans to add a second westbound left turn lane at this intersection. In addition, the storage capacity for the dual westbound left turn lanes will be increased by shortening the storage for the eastbound hooded left turn lane storage at the Allen Premium Outlet entry.
  - With the proposed development, the westbound left turn volume is expected to be more than 600 vph during the Saturday peak hour.
  - The westbound left turn queues may spillback into the through lanes and may extend up to the US 75 Southbound Frontage Road.
  - The westbound through lane queues are expected to block the hooded eastbound left turn median opening (entry into the Allen Premium Outlet).
  - While the intersection of Stacy Road and Chelsea Boulevard is expected operate at acceptable level of service (LOS), critical movements are expected to operate at unacceptable LOS.
  - The intersection design must ensure that the opposing left turn movements in any direction do not conflict and that split phase operation is not required due to the intersection geometry. The northbound right turn lane storage length should be long enough to accommodate long queue lengths projected.
- Stacy Road at US 75 – All outer approaches to the diamond interchange (eastbound Stacy Road at US 75 Southbound Frontage Road, westbound Stacy Road at US 75 Northbound Frontage Road, US 75 Southbound Frontage Road, and US 75 Northbound Frontage Road) are expected to operate at unacceptable LOS at site build out.
- Signal Timing – The TIA recommends retiming Stacy Road signals between US 75 and Watters Road. It should be noted that Stacy Road operates as a coordinated system from SH 5 (Greenville Road) to Watters Road. In addition, intersecting north-south arterials, SH 5 and Watters Road operate as coordinated system. It should be noted that retiming signals along Stacy Road will require significant more effort than retiming just four signals along Stacy Road.

- **Site Layout** –The current site layout and traffic assignments presented in the TIA assume that the intersection of Stacy Road and Chelsea Boulevard will serve as the main entry point to the development. Modifying the site layout to make Driveways 7 along US 75 Southbound Service Road

main entry points would make it easier for trips coming from the south on US 75 to make a U-turn at Stacy Road and enter Phase II development from Driveway 7, thereby avoiding Stacy Road traffic. In addition, more traffic from the north and east may utilize these access points and thereby reducing the impact to Stacy Road.







