



**AGENDA
CITY OF ALLEN
PLANNING AND ZONING COMMISSION
REGULAR MEETING
DECEMBER 1, 2020 – 7:00 PM
CONDUCTED VIA CONFERENCE**

This City of Allen Planning and Zoning Commission meeting will be conducted with the members of the Commission and City staff participating via video conference. The facility will not be open to the public.

Members of the public are entitled to participate remotely via broadcast by webinar. To speak remotely at the Planning and Zoning Commission Meeting, speakers must:

Submit the online registration form found at:
https://forms.office.com/Pages/ResponsePage.aspx?id=D-ZxTzEcXUWhNtqHVXCaeGmU7_1vIepOgbwpgNX9pypUQ0NPNVkvWIVKVlpFUFJRTOpBQkFMV1RBNy4u not later than 3 p.m. on Tuesday, December 1, 2020.

- Once the registration form is received, registered speakers will receive either an email or phone call providing the telephone number to call on the date of the meeting.
- Speakers must call not later than 6:45 p.m. on the date of the meeting in order to be allowed to speak. Late callers will not be accepted and will not be allowed to speak.
- Handouts or other information that a member of the public desires to provide to the Commission must be emailed to planningsubmittals@cityofallen.org by 3 p.m. on December 1, 2020, to ensure the information is able to be provided to the Commissioners in advance of the meeting.

The meeting will be live streamed on Allen City TV at www.cityofallen.org/982/ACTV for those wanting to watch the meeting but not address the Commission.

Call to Order and Announce a Quorum is Present

Pledge of Allegiance

Director's Report

1. Action Taken on the Planning and Zoning Commission Items by City Council at the November 24, 2020, Regular Meeting.

Consent Agenda

(Routine P&Z business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.)

2. Approve Minutes from the November 17, 2020, Planning and Zoning Commission Regular Meeting.

Regular Agenda

3. Alternative Lighting - Consider a Request for Alternative Lighting for Stephen Terrell Recreation Center being 85.17± acres located in the Shadrick Jackson Survey, Abstract No. 489 and the Mary Standifer Survey, Abstract No. 812; Generally Located Directly North and East of Exchange Parkway and Approximately 1,259± Feet West of Twin Creeks Drive. [Stephen Terrell Recreation Center] (AD-092520-0002)
4. Public Hearing - Conduct a Public Hearing and Consider a Request for a Specific Use Permit SUP for a Restaurant (drive-in or through) Use Located on Lot 2, Block A, Greenville Center Addition; Generally Located Directly South of Stacy Road and Approximately 648± Feet East of Andrews Parkway (and commonly known as 350 E. Stacy Road). (SUP-103020-0007) [Chick-Fil-A (Stacy)]
5. Public Hearing - Conduct a Public Hearing and Consider a Request for a Specific Use Permit SUP for a Medical Clinic Use for a 3,987± Square Foot Portion of a Building Located on Lot 6, Greenway-Allen Retail Addition; Generally Located Approximately 500± Feet South of McDermott Drive and Directly East of U.S. Highway 75 (and Commonly Known as 325 S. Central Expressway). (SUP-111320-0008) [FastDoc Urgent Care]

Executive Session (As needed)

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

Adjournment

This notice was posted at Allen City Hall, 305 Century Parkway, Allen, Texas, at a place convenient and readily accessible to the public at all times. Said notice was posted on Wednesday, November 25, 2020, at 2:00 p.m.

Shelley B. George, City Secretary

Allen City Hall is wheelchair accessible. Access to the building and special parking are available at the entrance facing Century Parkway. Requests for sign interpreters or special services must be received forty-eight (48) hours prior to the meeting time by calling the City Secretary at 214-509-4105.

PLANNING AND ZONING COMMISSION AGENDA COMMUNICATION
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AGENDA DATE:

December 1, 2020

SUBJECT:

Action Taken on the Planning and Zoning Commission Items by City Council at the November 24, 2020, Regular Meeting.

STAFF RESOURCE:

Marc Kurbansade, AICP
Director of Community Development

BACKGROUND

- There were no items taken to the November 24, 2020 Regular Meeting.

PLANNING AND ZONING COMMISSION AGENDA COMMUNICATION
--

AGENDA DATE:

December 1, 2020

SUBJECT:

Approve Minutes from the November 17, 2020,
Planning and Zoning Commission Regular Meeting.

STAFF RESOURCE:

Rolandrea Russell
Planner

ATTACHMENTS:

Minutes from the November 17, 2020 Regular Meeting

PLANNING AND ZONING COMMISSION

REGULAR MEETING

NOVEMBER 17, 2020

ATTENDANCE:

Commissioners Present:

Ben Trahan, Chair
Stephen Platt, Jr., 1st Vice-Chair
Dan Metevier, 2nd Vice-Chair
Jeff Burkhardt
John Ogrizovich
Elias Shaikh
Michael Smiddy

City Staff Present:

Marc Kurbansade, AICP, Director of Community Development
Joseph Cotton, Assistant Director of Engineering
Shelley George, City Secretary
Hayley Angel, AICP, Senior Planner
Rolandrea Russell, Planner

Call to Order and Announce a Quorum is Present:

With a quorum of the Commissioners present, Chair Trahan called the meeting to order at 7:00 p.m. via Video Conference.

Directors Report

1. The Director of Community Development discussed the action taken on the Planning & Zoning Commission items by City Council at the October 20, 2020 and November 10, 2020, Regular Meetings.

Consent Agenda (*Routine P&Z business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.*)

2. Capital Improvement Plan (CIP) Status Report.
3. Approve Minutes from the October 20, 2020, Planning and Zoning Commission Regular Meeting.

Motion: **Upon a motion by 1st Vice-Chair Platt, and a second by Commissioner Shaikh, the Commission voted 7 IN FAVOR, and 0 OPPOSED to approve the Consent Agenda.**

The motion carried.

Regular Agenda

4. Preliminary Plat - Consider a Request for a Preliminary Plat for The Avenue Addition, Being 709.28± Acres Located in the James W. Parsons Survey, Abstract No. 705, the Thomas Phillips Survey, Abstract No. 717, and the John Phillips Survey, Abstract No. 718; Generally Located at the Northeastern Corner of the Intersection of Ridgeview Drive and Alma Drive. (Pre-PL-100920-0004) [The Avenue]

Ms. Angel, Senior Planner, presented the item to the Commission.

Ms. Angel stated that the Preliminary Plat meets the requirements of the Allen Land Development Code. She noted that staff is in support of the agenda item.

Fawaz Bham, 1606 Alamosa Drive, Allen, Texas, spoke in support of this item.

The Commission discussed points of access into the development and next steps in the process.

Motion: **Upon a motion by Commissioner Burkhardt, and a second by Commissioner Smiddy, the Commission voted 7 IN FAVOR, and 0 OPPOSED to approve the Preliminary Plat for The Avenue, as presented.**

The motion carried.

Executive Session (As Needed)

The Executive Session was not held.

Adjournment

The meeting adjourned at 7:11 p.m.

These minutes approved this _____ day of _____ 2020.

Ben Trahan, Chair

Rolandrea Russell, Planner

PLANNING AND ZONING COMMISSION AGENDA COMMUNICATION
--

AGENDA DATE:	December 1, 2020
SUBJECT:	Consider a Request for Alternative Lighting for Stephen Terrell Recreation Center being 85.17± acres located in the Shadrick Jackson Survey, Abstract No. 489 and the Mary Standifer Survey, Abstract No. 812; Generally Located Directly North and East of Exchange Parkway and Approximately 1,259± Feet West of Twin Creeks Drive. (AD-092520-0002) [Stephen Terrell Recreation Center]
STAFF RESOURCE:	Hayley Angel, AICP Senior Planner
PREVIOUS COMMISSION/COUNCIL ACTION:	Planned Development No. 54 - Approved May, 1993
LEGAL NOTICES:	None.
ANTICIPATED COUNCIL DATE:	None.

BACKGROUND

This property is located north and east of Exchange Parkway and south of Ridgeview Drive. The properties to the north (across Ridgeview Drive) are zoned Planned Development PD No. 141 Mixed Use MIX and Planned Development PD No. 101 Corridor Commercial CC. The properties to the east are zoned Planned Development PD No. 111 Single-Family Residential R-5 and Community Facilities CF.

The property is currently zoned Community Facilities CF and Planned Development PD No. 54 Community Facilities CF. A Site Plan for the subject site, the Stephen Terrell Recreation Center, is currently under review.

The Allen Land Development Code requires all parking lot and loading area lighting to comply with the following requirements:

- Base cover and base, pole, light arm, and luminaire housing shall all be dark bronze in color;
- Light pole must be square straight steel;
- Luminaire shall be rectangular or square in shape and have either high pressure sodium or LED fixture; and
- All lighting fixtures shall be fully shielded.

Section 7.03.4.8.b.v of the Allen Land Development Code grants Planning and Zoning Commission the ability to approve alternative designs to parking lot and loading area lighting. Alternative Lighting Requests, when approved, allow the Chief Building Official to review and approve a Photometric Plan that utilizes the proposed parking lot lighting poles. The light levels requirements, as outlined by the ALDC, are not impacted by the Alternative Lighting Request.

As the attached letter states, the applicant is requesting to change the design of the parking lot lighting. The applicant is requesting to place round poles with round luminaires on site. The attached Product Specification sheet includes detailed information and photos. The applicant notes that the site is isolated, with the subject development being the only non-residential development in the area. Additionally, the specific architecture of the building is complemented by the proposed light poles. Finally, similar light fixtures are used at Spirit Park and provide continuity in the Parks system. The attached preliminary Site Plan and Building Elevations further illustrate these points. As noted earlier, these exhibits are still subject to review through the Site Plan process.

The purpose of the parking lot light pole regulations is to ensure consistency within subdivided, commercial centers, and the Alternative Lighting Request process exists for exceptions that are either consistent throughout a development or for single-lot developments. Because the request is for a single-lot development, staff is in support of the request.

STAFF RECOMMENDATION

Staff recommends approval.

MOTION

I make a motion to approve the Alternative Lighting Request for 85.17± acres located in the Shadrick Jackson Survey, Abstract No. 489 and the Mary Standifer Survey, Abstract No. 812, for Stephen G. Terrell Recreation Center, as presented.

ATTACHMENTS:

Letter from Applicant
Lighting Specifications
Site Plan (Reference Only)
Building Elevations (Reference Only)

MEMO

To: The Allen Planning and Zoning Commission

Through: Hayley Angel, Sr. Planner, Community Development

From: E. Brian Bristow, Assist. Director, Parks and Recreation

Copy: Marc Kurbansade, Director of Community Development
Kate Meacham, Director Parks and Recreation

Date: December 1, 2020

Re: Alternative Lighting for the Stephen G. Terrell Recreation Center

Introduction

Section 7.03.4.2.a.(1) – Outdoor Lighting of the Allen Land Development Code defines outdoor lighting equipment as that which among other variations is attached to poles. Section 7.03.4.8 adds that all parking lot and loading area lighting shall be fully shielded, and shall have a luminaire housing, light arm, pole, base and base cover that are dark bronze in color. The light pole shall be “square straight steel” and the luminaire shall be “generally rectangular or square in shape.”

Request for Approval of Alternative

The Allen Parks and Recreation Department requests the Commission’s approval to install parking lot lighting that varies with the Land Development Code, and incorporates 1) a round, arm-mounted LED luminaire housing, and 2) a round straight steel pole. All metal will be dark bronze color per the code.

Justification

This alternative can be justified in several ways:

1. Continuity: The ALDC is most concerned about continuity among site furnishings and fixtures within and across developments, particularly developments that are planned and phased over multiple years. Property ownership changes or multiple owners within a mixed-use development could, for example choose to put differently styled site lighting poles and fixtures on their parcels, creating a hodgepodge of colors types, heights, etc.

The Stephen G. Terrell Community Park and Recreation Center is a single-phase project on a site that is exclusively for establishing the center within a single property. Additional phases are not currently contemplated, much less programmed or planned. There will be one style of site lighting throughout the park and recreation center, non-competing with and separated from



other developments by a creek (east side) and major thoroughfares (north west and south sides).

2. Recent and prior use/precedent: The proposed style of pole and fixture has been recently used at Spirit Park (2018). The proposed pole and light fixture will correspond in style to and in the spirit of the Land Development Code can establish continuity among the lighting units being used in our newest community parks.
3. Architectural Styling: The size and architectural styling of the Stephen G. Terrell Recreation Center is to be boldly modern and significantly different from any building in Allen. Such styling calls for a likewise unconventional appeal in other project details including the site lighting submitted for approval.



Radean Arm Mount LED Area Luminaire



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

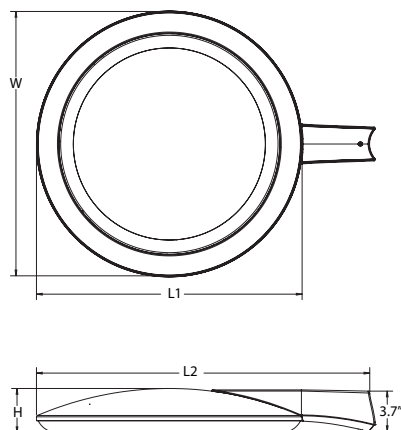
EPA: 0.75 ft²
(0.05 m²)

Length:
L1 24" (61cm)
L2 30" (60.96 cm)

Width: 24" (61cm)

Height: 4" (10.2cm)

Weight (max): 29lbs
(13.15Kg)



Introduction

The RADEAN arm mount luminaire is the perfect choice for pedestrian applications where daytime aesthetics and visual comfort are needed. Adding architectural flair to any space, the RADEAN's low-profile shape and smooth curves blend in while adding a touch of elegance.

Perfect for campuses, parks, pedestrian malls, courtyards and pathways, the RADEAN arm mount is the Architect's choice to provide beautiful aesthetics both day and night.

Ordering Information

EXAMPLE: RAD1 LED P3 30K SYM MVOLT RPA PE DNAXD

RAD1 LED					
Series	Performance package	Color temperature	Distribution	Voltage	Mounting
RAD1 LED	P1 3,000 Lumens	27K 2700K	SYM Symmetric type V	MVOLT ¹ 277 ¹	SPA Square pole mounting (includes adapter)
	P2 5,000 Lumens	30K 3000K	ASY Asymmetric type IV	120 ¹ 347	RPA Round pole mounting
	P3 7,000 Lumens	35K 3500K	PATH Pathway type III	208 ¹ 480	WBA Wall bracket
	P4 11,000 Lumens	40K 4000K		240 ¹	
	P5 16,000 Lumens	50K 5000K			

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR 2.0 enabled ² PIR Bi-level motion sensor (100% to 30%) ^{2,3,4,5,6} PE Button photocell ^{2,5} FAO Field adjustable output ^{2,3,7}	SF Single Fuse ¹ DF Double Fuse ¹ L90 Left rotated optics R90 Right rotated optics Shipped separately HS Houseside shield ⁸	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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RAD1 LED
Rev. 03/16/20

Ordering Information

Accessories

Ordered and shipped separately.

- RADHS Houseside shield (shield is white)
 RADCS Decorative clamshell base for 4" RSS pole (specify finish)
 RADFBC Full base cover for 4" RSS pole (specify finish)

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- 1 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- 2 NLTAIR2 not available with PIR, PE or FAO. Must link to external nLight Air network.
- 3 PIR will work with FAO, if adjustable dimming level is required.
- 4 PIR must specify 120V, 277V, 347V or 480V. Not available in MVOLT, 208V or 240V.
- 5 PE and PIR are available together.
- 6 PIR for use on mounting heights under 20'.
- 7 Field adjustable high-end trim.
- 8 Also available as a separate accessory; see Accessories information. Shield is field rotatable in 45° increments.

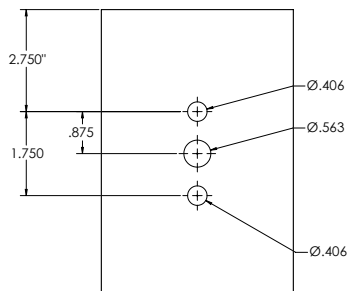
Mounting

Recommended Poles for use with RADEAN RAD1 LED Luminaires.

Acuity Part Number	Description	For luminaires:	Used with Mounting
RSS 10 4B DM19RAD DDBXD	10' Round Straight Steel - Template #20 Drilling	RAD1 LED	RPA
RSS 12 4B DM19RAD DDBXD	12' Round Straight Steel - Template #20 Drilling	RAD1 LED	RPA
RSS 14 4B DM19RAD DDBXD	14' Round Straight Steel - Template #20 Drilling	RAD1 LED	RPA
RSS 16 4B DM19RAD DDBXD	16' Round Straight Steel - Template #20 Drilling	RAD1 LED	RPA
RSS 18 4B DM19RAD DDBXD	18' Round Straight Steel - Template #20 Drilling	RAD1 LED	RPA
RSS 20 4B DM19RAD DDBXD	20' Round Straight Steel - Template #20 Drilling	RAD1 LED	RPA
RSS 25 4B DM19RAD DDBXD	25' Round Straight Steel - Template #20 Drilling	RAD1 LED	RPA
SSS 10 4C DM19RAD DDBXD	10' Square Straight Steel - Template #20 Drilling	RAD1 LED	SPA
SSS 12 4C DM19RAD DDBXD	12' Square Straight Steel - Template #20 Drilling	RAD1 LED	SPA
SSS 14 4C DM19RAD DDBXD	14' Square Straight Steel - Template #20 Drilling	RAD1 LED	SPA
SSS 16 4C DM19RAD DDBXD	16' Square Straight Steel - Template #20 Drilling	RAD1 LED	SPA
SSS 18 4C DM19RAD DDBXD	18' Square Straight Steel - Template #20 Drilling	RAD1 LED	SPA
SSS 20 4C DM19RAD DDBXD	20' Square Straight Steel - Template #20 Drilling	RAD1 LED	SPA
SSS 25 4C DM19RAD DDBXD	25' Square Straight Steel - Template #20 Drilling	RAD1 LED	SPA

* Customer must verify pole loading per required design criteria and specified wind speed. Consult pole specification sheet for additional details.

Drilling Template #20



RAD1 has a unique drilling pattern. Specify this drilling pattern when specifying poles, per the table below.

DM19RAD	Single unit	DM29RAD	2 at 90° ^{1,2}
DM28RAD	2 at 180°	DM39RAD	3 at 90° *
DM49RAD	4 at 90° ¹	DM32RAD	3 at 120°

Example: SSA 20 4C **DM19RAD** DDBXD

Visit Lithonia Lighting's [POLES CENTRAL](#) to see our wide selection of poles, accessories and educational tools.

1. Round pole top must be 4.25" O.D. minimum.
2. Square pole top must be 3.125" O.D. minimum.



COMMERCIAL OUTDOOR

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RAD1 LED
 Rev. 03/16/20

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Contact factory for performance data on any configurations not shown here.

Performance Package	Input Wattage	Distribution	2700K					3000K					3500K					4000K					5000K				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	25	ASY	3,103	1	0	1	122	3,207	1	0	1	126	3,285	1	0	1	129	3,362	1	0	1	132	3,362	1	0	1	132
		PATH	2,695	2	0	2	106	2,785	2	0	2	110	2,853	2	0	2	112	2,920	2	0	2	115	2,920	2	0	2	115
		SYM	3,271	2	0	1	129	3,380	2	0	1	133	3,461	2	0	1	136	3,543	2	0	1	139	3,543	2	0	1	139
P2	38	ASY	4,798	1	0	2	126	4,958	1	0	2	130	5,078	2	0	2	134	5,198	2	0	2	137	5,198	2	0	2	137
		PATH	4,167	2	0	2	110	4,306	3	0	3	113	4,410	3	0	3	116	4,514	3	0	3	119	4,514	3	0	3	119
		SYM	5,056	2	0	1	133	5,225	3	0	1	137	5,351	3	0	1	141	5,478	3	0	1	144	5,478	3	0	1	144
P3	54	ASY	6,779	2	0	2	126	7,005	2	0	2	131	7,174	2	0	2	134	7,344	2	0	2	137	7,344	2	0	2	137
		PATH	5,887	3	0	3	110	6,084	3	0	3	113	6,231	3	0	3	116	6,378	3	0	3	119	6,378	3	0	3	119
		SYM	7,144	3	0	2	133	7,382	3	0	2	138	7,561	3	0	2	141	7,739	3	0	2	144	7,739	3	0	2	144
P4	86	ASY	10,773	3	0	3	126	11,132	3	0	3	130	11,401	3	0	3	133	11,671	3	0	3	136	11,671	3	0	3	136
		PATH	9,356	3	0	3	109	9,668	3	0	3	113	9,902	3	0	3	116	10,136	3	0	3	118	10,136	3	0	3	118
		SYM	11,353	3	0	2	133	11,731	3	0	2	137	12,015	3	0	2	140	12,299	3	0	2	144	12,299	3	0	2	144
P5	122	ASY	15,001	3	0	3	123	15,501	3	0	3	127	15,876	3	0	3	130	16,251	3	0	3	133	16,251	3	0	3	133
		PATH	13,028	4	0	4	107	13,462	4	0	4	110	13,788	4	0	4	113	14,114	4	0	4	116	14,114	4	0	4	116
		SYM	15,808	4	0	3	130	16,335	4	0	3	134	16,731	4	0	3	137	17,126	4	0	3	140	17,126	4	0	3	140

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		LAT Factor
0°C	32°F	1.06
5°C	41°F	1.05
10°C	50°F	1.04
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.96

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **RAD1 LED P5** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Projected LED Lumen Maintenance				
	0	25,000	50,000	100,000
P1	1.00	0.96	0.91	0.82
P2	1.00	0.96	0.91	0.82
P3	1.00	0.96	0.91	0.82
P4	1.00	0.96	0.91	0.82
P5	1.00	0.95	0.89	0.78

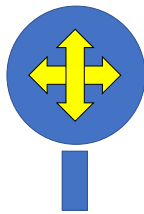
Electrical Load

Lumen Package	LED Drive Current	Voltage	Wattage		Current (A)					
					120	208	240	277	347	480
P1	500	42.8	21.4	Input Current	0.22	0.13	0.11	0.1	0.08	0.06
				System Watts	26	26	26	27	25	26
P2	770	43	33.1	Input Current	0.33	0.19	0.16	0.14	0.11	0.08
				System Watts	39	39	39	39	38	38
P3	1100	43.2	47.5	Input Current	0.46	0.26	0.23	0.2	0.16	0.12
				System Watts	55	54	54	54	54	54
P4	900	87.3	78.6	Input Current	0.73	0.42	0.36	0.32	0.25	0.18
				System Watts	87	86	86	86	86	86
P5	1250	88.2	110.2	Input Current	1	0.58	0.5	0.44	0.35	0.25
				System Watts	120	119	119	119	120	120

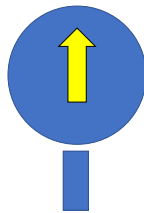


Standard Optic

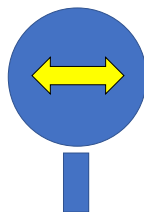
RAD1 SYM



RAD1 ASY Standard

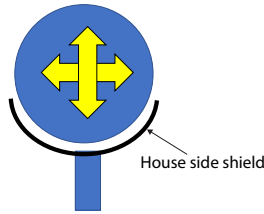


RAD1 PATH

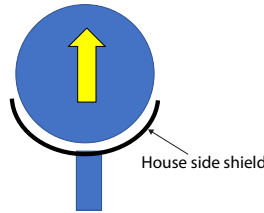


House side Shield

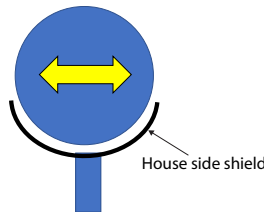
RAD1 SYM HS



RAD1 ASY HS

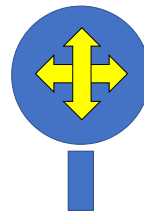


RAD1 PATH HS

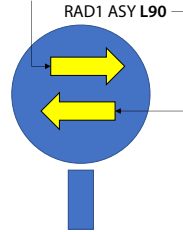


Rotated R90

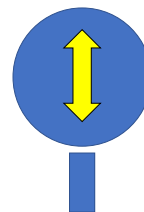
RAD1 SYM R90



RAD1 ASY R90



RAD1 PATH R90



FEATURES & SPECIFICATIONS

INTENDED USE

Pedestrian areas such as parks, campuses, pathways, courtyards and pedestrians malls.

CONSTRUCTION

Single-piece die-cast aluminum housing with nominal wall thickness of 0.125" on a 6mm thick acrylic waveguide is fully gasketed with a single piece tubular silicone gasket.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum and white. Available in textured and non-textured finishes.

OPTICS

6MM thick acrylic waveguide with 360° flexible LED board. Available in 2700K, 3000K, 3500K, 4000K and 5000K (70CRI) CCT configurations.

ELECTRICAL

Light engine consists of 96 high-efficacy LEDs mounted to a flexible circuit board and aluminum heat sink, ensuring optimal thermal management and long life. Class 1 electronic driver has a power factor >90%, THD <20%, and has an expected life of 100,000 hours with <1% failure rate. Easily-serviceable 10kV surge protection device meets a minimum Category C Low for operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included luminaire and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color or less.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Catalog Number
Notes
Type

FEATURES & SPECIFICATIONS

INTENDED USE — These specifications are for USA standards only. Check with factory for Canadian specifications. Round Straight Steel is a general purpose light pole for up to 30-foot mounting heights. This pole provides a robust yet cost effective option for mounting area lights and floodlights.

CONSTRUCTION — **Pole Shaft:** The pole shaft is of 0.120" uniform wall thickness and is made of a weldable-grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 42,000 psi. Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly round in cross-section down length of shaft with no taper. Standard shaft diameters are 3", 4", 4.5" and 5". 6" diameter shaft available by quote. Shaft wall thickness of .180" and .250" are available with certain tube diameters.

Pole Top: Options include tenon top, drilled for side mount fixture, tenon with drilling (includes extra handhole) and open top. Side drilled and open top poles include a removable press-fit, black, low density polyethylene top cap.

Handhole: A reinforced handhole with grounding provision is provided at 12" from the base end of the pole assembly on side A. Every handhole includes a cover and cover attachment hardware. 2.5" x 5" rectangular handhole is provided on pole.

Base Cover: A two-piece ABS plastic full base cover is provided with each pole assembly. Additional base cover options are available upon factory request. Options include fabricated two-piece sheet steel or heavy duty two-piece cast aluminum full base cover. All base covers are finished to match pole.

Anchor Base/ Bolts: Anchor base is fabricated from hot-rolled carbon steel plate that conforms with ASTM A36. Anchor bolts conform to ASTM F1554 Grade 55 and are provided with two hex nuts and two flat washers. Bolts have an "L" blend on one end. All anchor bolts are hot-dipped galvanized a minimum of 12" nominal on the threaded end. Anchor bolts are made of steel rod having a minimum yield strength of 55,000 psi and a yield strength of 75,000 psi to 95,000 psi.

Hardware — All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

Finish — Extra durable standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Tennis Green, Bright Red and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to Hot-dipped Galvanized, Paint over Hot-dipped Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications.

WARRANTY — 1-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.



Anchor Base Poles

RSS

ROUND STRAIGHT STEEL

RSS Round Straight Steel Pole

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: RSS 20 4-5B DM19 DDB

RSS					
Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness ¹	Mounting ²	Options	Finish ¹¹
RSS	8'-30' (for 1/2 ft increments, add -6 to the pole height. Ex: 20-6 equals 20ft 6in.) (See technical information table for complete ordering information.) 17'-6" POLE WITH 2'-6" TALL X 2" DIAMETER CIRCULAR CONCRETE POLE BASE. 20' ABOVE GRADE MOUNTING.	3B 3" (.120") 4B 4" (.120") 4-5B 4 1/2" (.120") 5B 5" (.120") (See technical information table for complete ordering information.)	<u>Tenon mounting</u> PT Open top T20 2-3/8" O.D. (2" NPS) T25 2-7/8" O.D. (2-1/2" NPS) T30 3-1/2" O.D. (3" NPS) ² T35 4" O.D. (3-1/2" NPS) ² <u>KAC/KAD/KSE/KSF/KVR/KVF Drill mounting ³</u> DM19 1 at 90° DM28 2 at 180° DM28PL 2 at 180° with one side plugged DM29 2 at 90° DM32 3 at 120° DM49 4 at 90° <u>CSX/DSX/RSX/AERIS™/OMERO™/HLA/KAX Drill mounting ²</u> DM19AS 1 at 90° DM28AS 2 at 180° DM29AS 2 at 90° DM32AS 2 at 120° DM39AS 3 at 90° DM49AS 4 at 90° <u>RAD drill mounting ³</u> DM19RAD 1 at 90° DM28RAD 2 at 180° DM29RAD 2 at 90° DM32RAD 3 at 120° DM39RAD 3 at 90° DM49RAD 4 at 90° <u>AERIS™ Suspend drill mounting ^{3,4}</u> DM19AST_ 1 at 90° DM28AST_ 2 at 180° DM29AST_ 2 at 90° DM39AST_ 3 at 90° DM49AST_ 4 at 90° <u>OMERO™ Suspend drill mounting ^{3,4}</u> DM19AST_ 1 at 90° DM28AST_ 2 at 180° DM29AST_ 2 at 90° DM39AST_ 3 at 90° DM49AST_ 4 at 90°	<u>Shipped installed</u> L/AB Less anchor bolts (Include when anchor bolts are not needed) L/FBC Less full base cover (include to order pole without a base cover) VD Vibration damper TP Tamper resistant handhole cover fasteners HAXy Horizontal arm bracket (1 fixture) ^{5,6} FDLxy Festoon outlet less electrical ⁵ CPL12/xy 1/2" coupling ⁵ CPL34/xy 3/4" coupling ⁵ CPL1/xy 1" coupling ⁵ NPL12/xy 1/2" threaded nipple ⁵ NPL34/xy 3/4" threaded nipple ⁵ NPL1/xy 1" threaded nipple ⁵ EHHxy Extra handhole ^{5,7} MAEX Match existing ⁸ USPOM United States point of manufacture ⁹ IC Interior coating ¹⁰ UL UL listed with label (Includes NEC compliant cover) NEC NEC 410.30 compliant gasketed handhole (Not UL Labeled) <u>Shipped separately (replacement kit available)</u> (blank) FBC Full base cover (plastic) RFBC Round Full Base Cover (Plastic) (blank) TC Top cap (blank) HHC Handhole cover	<u>Standard colors</u> DDBXD Dark bronze DWHXD White DBLXD Black DMBXD Medium bronze DNAXD Natural aluminum GALV Galvanized finish <u>Classic colors</u> DSS Sandstone DGC Charcoal gray DTG Tennis green DBR Bright red DSB Steel blue <u>Architectural colors (powder finish) ¹¹</u> Galvanized, Paint over Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes available.

NOTES:

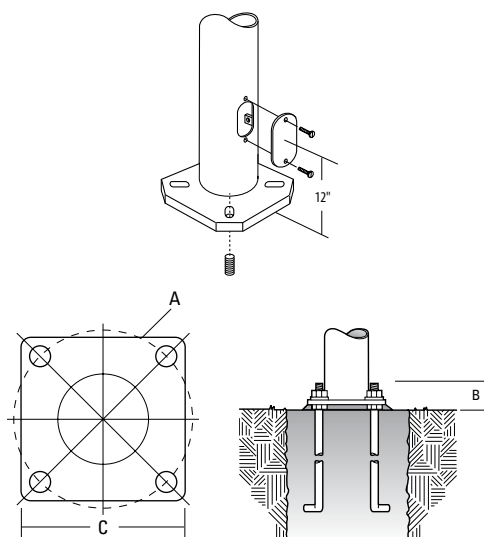
- Wall thickness will be signified with a "C" (11 Gauge) or a "G" (7-Gauge) in nomenclature. "C" - 0.1196" | "G" - 0.1793
- PT open top poles include top cap. When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20. The combination includes a required extra handhole.
- Refer to the fixture spec sheet for the correct drilling template pattern and orientation compatibility.
- Insert "1" or "2" to designate fixture size; e.g. DM19AST2.
- Specify location and orientation when ordering option. For "x": Specify the height above the base of pole in feet or feet and inches; separate feet and inches with a "-". Example: 5ft = 5 and 20ft 3in = 20-3 For "y": Specify orientation from handhole (A,B,C,D) Refer to the Handhole Orientation diagram below. Example: 1/2" coupling at 5' 8", orientation C = CPL12/5-8C
- Horizontal arm is 18" x 2-3/8" O.D. tenon standard with radius curve providing 12" rise. If ordering two horizontal arm at the same height, specify with HAXxy. Example: HA20BD
- Combination of tenon-top and drill mount includes extra handhole.
- Must add original order number of existing pole(s).
- Use when mill certifications are required.
- 1Provides enhanced corrosion resistance.
- Additional colors available; see www.lithonia.com/archcolors or Architectural Colors brochure (Form No. 794.3). Available by formal quote only, consult factory for details.

RSS Round Straight Steel Pole

TECHNICAL INFORMATION — EPA (ft ²) with 1.3 gust											
Catalog number	Nominal shaft length (ft)*	Pole shaft size (in x ft)	Wall thickness (in)	80 mph	Max weight	90 mph	Max weight	100 mph	Max weight	Bolt size (in. x in. x in.)	Approximate ship weight (lbs.)
RSS 8 4-5B	8	4.5 x 8.0	0.120	24.7	630	19.7	495	16.0	430	3/4 x 18 x 3	55
RSS 10 3B	10	3.0 x 10.0	0.120	10.0	250	7.7	190	6.0	175	3/4 x 18 x 3	55
RSS 10 4B	10	4.0 x 10.0	0.120	19.1	480	15	375	12.2	305	3/4 x 18 x 3	70
RSS 10 4-5B	10	4.5 x 10.0	0.120	24.5	615	19.5	490	15.8	395	3/4 x 18 x 3	75
RSS 12 3B	12	3.0 x 12.0	0.120	7.7	195	5.8	145	4.4	130	3/4 x 18 x 3	60
RSS 12 4B	12	4.0 x 12.0	0.120	15.0	390	11.8	300	9.5	240	3/4 x 18 x 3	80
RSS 12 4-5B	12	4.5 x 12.0	0.120	19.8	495	15.7	395	12.7	320	3/4 x 18 x 3	85
RSS 14 3B	14	3.0 x 14.0	0.120	6.0	175	4.4	130	3.3	90	3/4 x 18 x 3	70
RSS 14 4B	14	4.0 x 14.0	0.120	12.2	305	9.4	250	7.6	195	3/4 x 18 x 3	90
RSS 14 4-5B	14	4.5 x 14.0	0.120	16.2	405	12.8	320	10.3	260	3/4 x 18 x 3	95
RSS 15 4-5B	15	4.5 x 15.0	0.120	12.0	300	9.5	250	7.5	200	3/4 x 18 x 3	96
RSS 16 3B	16	3.0 x 16.0	0.120	4.6	125	3.2	100	2.3	60	3/4 x 18 x 3	80
RSS 16 4B	16	4.0 x 16.0	0.120	9.6	250	7.4	185	5.9	150	3/4 x 18 x 3	100
RSS 16 4-5B	16	4.5 x 16.0	0.120	13.1	330	10.2	265	8.2	205	3/4 x 18 x 3	105
RSS 18 3B	18	3.0 x 18.0	0.120	3.4	90	2.3	60	1.4	70	3/4 x 18 x 3	90
RSS 18 4B	18	4.0 x 18.0	0.120	7.6	190	5.7	180	4.5	130	3/4 x 18 x 3	110
RSS 18 4-5B	18	4.5 x 18.0	0.120	10.5	265	8.2	210	6.5	165	3/4 x 18 x 3	115
RSS 20 3B	20	3.0 x 20.0	0.120	2.4	100	1.4	75	--	--	3/4 x 18 x 3	100
RSS 20 4B	20	4.0 x 20.0	0.120	6.0	150	4.45	150	3.45	125	3/4 x 18 x 3	120
RSS 20 4-5B	20	4.5 x 20.0	0.120	8.5	215	6.6	165	5.2	130	3/4 x 18 x 3	130
RSS 20 5B	20	5.0 x 20.0	0.120	11.75	300	9.1	230	7.25	180	3/4 x 18 x 3	145
RSS 22 4-5B	22	4.5 x 22.0	0.120	6.0	150	4.5	125	3.75	100	3/4 x 18 x 3	134
RSS 25 4B	25	4.0 x 25.0	0.120	2.85	100	1.95	75	1.35	75	3/4 x 18 x 3	145
RSS 25 4-5B	25	4.5 x 25.0	0.120	4.8	130	3.6	90	2.7	90	3/4 x 18 x 3	145
RSS 25 5B	25	5.0 x 25.0	0.120	7.25	180	5.5	150	4.25	150	3/4 x 18 x 3	180
RSS 30 4-5B	30	4.5 x 30.0	0.120	2.3	80	1.5	75	1.0	60	3/4 x 18 x 3	185
RSS 30 5B	30	5.0 x 30.0	0.120	4.2	150	3	125	2.25	100	3/4 x 18 x 3	210

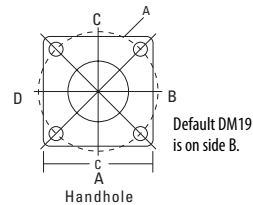
* EPA values are based ASCE 7-93 wind map. For 1/2 ft increments, add -.6 to the pole height. Ex: 20-6 equals 20ft 6in.

BASE DETAIL



POLE DATA					
Shaft base size	Bolt circle A	Bolt projection B	Base plate diameter	Template description	Anchor bolt description
3"	7.5" - 8.5"	3.50"-3.75"	10.50"	ABTEMPLATE PJ50041	AB18-0
4"	7.5" - 8.5"	3.50"-3.75"	10.50"	ABTEMPLATE PJ50041	AB18-0
4.5"	7.5" - 8.5"	3.50"-3.75"	10.50"	ABTEMPLATE PJ50041	AB18-0
5"	7.5" - 8.5"	3.50"-3.75"	10.50"	ABTEMPLATE PJ50041	AB18-0

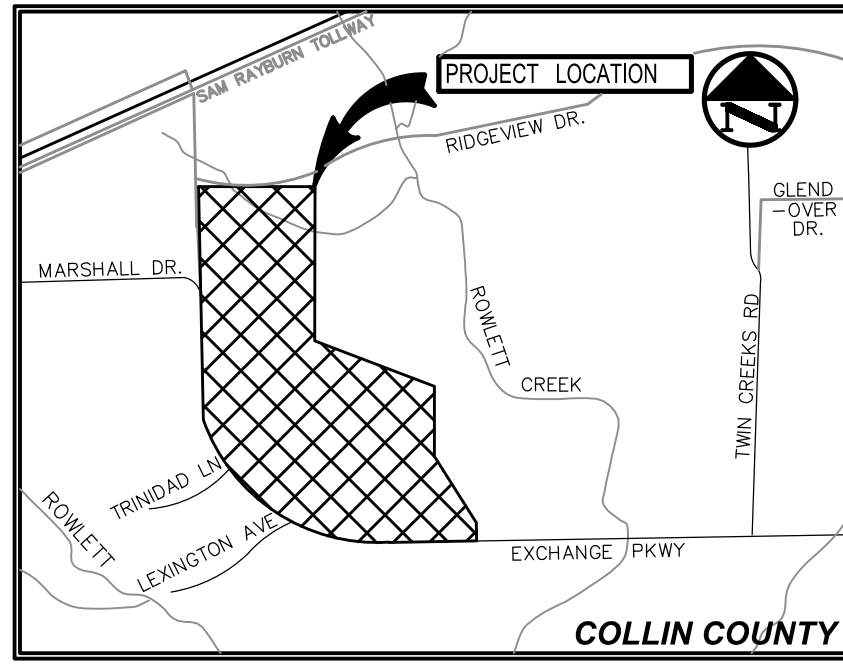
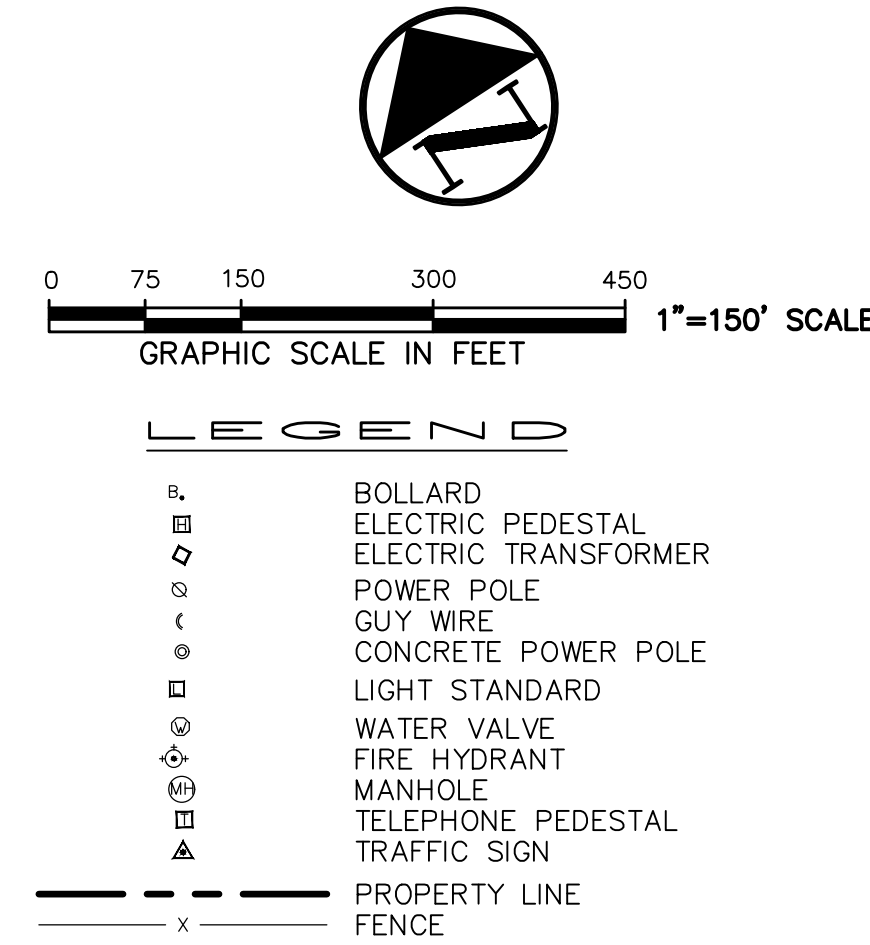
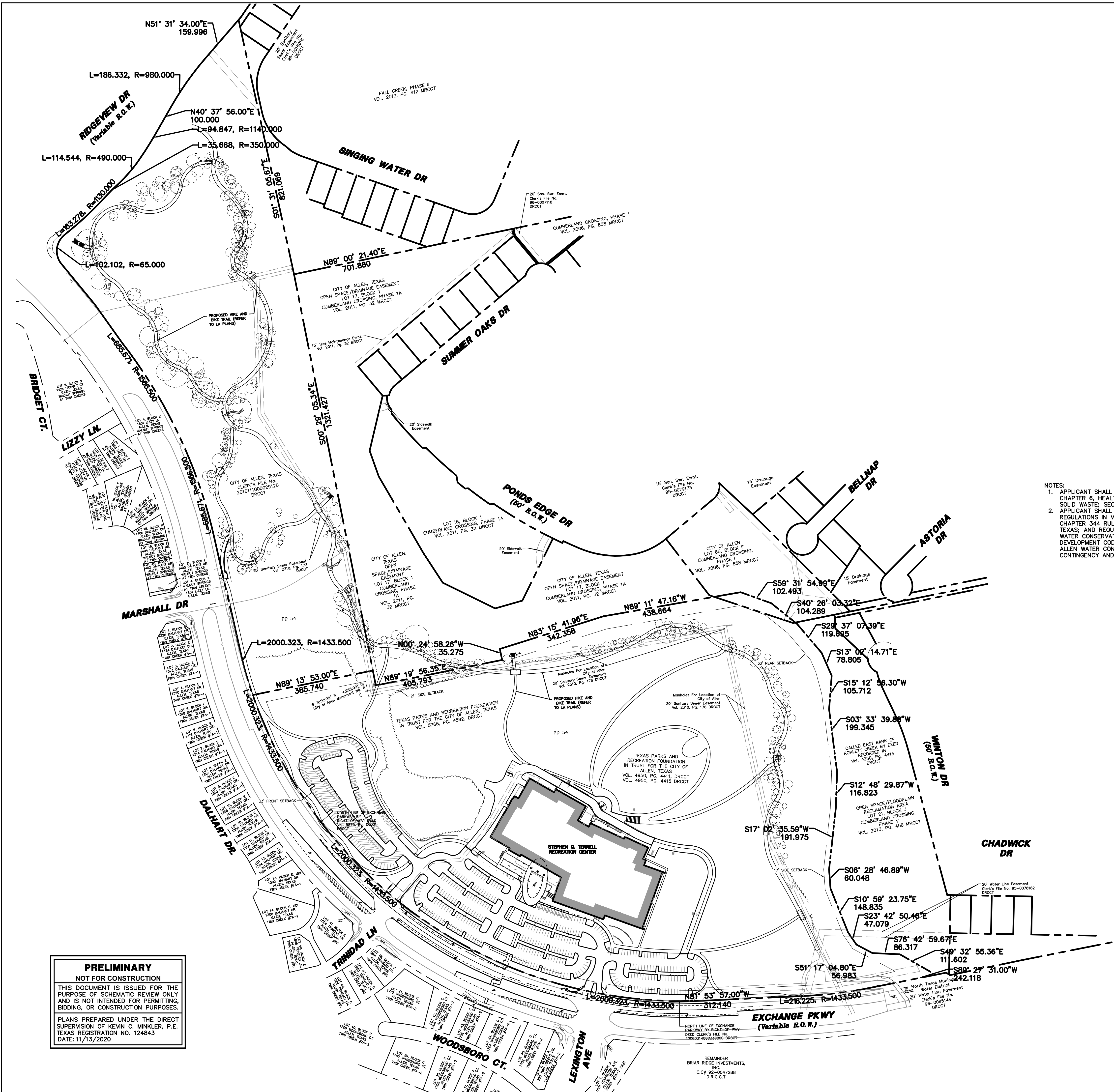
HANDHOLE ORIENTATION



IMPORTANT INSTALLATION NOTES:

- **Do not** erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use factory template.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.

3/27/2020 4:15:22 PM BIM 360://Steven G Terrell Recreation Center/STRC_R20_ARCH.rvt



- NOTES:
1. APPLICANT SHALL COMPLY WITH CITY ORDINANCE, CHAPTER 6, HEALTH AND ENVIRONMENT; ARTICLE III, SOLID WASTE; SECTIONS 6-51 TO 6-80
 2. APPLICANT SHALL COMPLY WITH ALL IRRIGATION REGULATIONS IN V.T.C.A. ADMINISTRATIVE CODE TITLE 30, CHAPTER 344 RULES ESTABLISHED BY THE STATE OF TEXAS; AND REQUIREMENTS FOR IRRIGATION DESIGN AND WATER CONSERVATION SET IN THE ALLEN LAND DEVELOPMENT CODE SECTION 7.05.6, AND THE CITY OF ALLEN WATER CONSERVATION AND DROUGHT CONTINGENCY AND EMERGENCY RESPONSE PLAN

SITE DATA SUMMARY TABLE	
PROPOSED USE(S)	RECREATION CENTER (PUBLIC)
EXISTING ZONING DISTRICT	CF (PD-54)
GROSS SITE AREA (AC. & SQ. FT.)	61.32 AC. / 2,671,393.1 SQ. FT
REQUIRED LANDSCAPE AREA (AC. & %)	9.2 AC. / 15%
PROVIDED LANDSCAPE AREA (AC. & %)	48.4 AC. / 79%
LOT COVERAGE	5.6%
PARKING RATIO PER USE	1 PER 300 SF
PARKING REQUIRED	496 SPACES, 9 ADA, & 2 ADA VAN
PARKING PROVIDED	510 SPACES, 12 ADA, & 10 ADA VAN
MAXIMUM HEIGHT (IN FT. AND STORIES)	55', 1 STORY W/ 3 LEVELS
FAR	0.11
SETBACKS (FRONT, SIDE EAST, SIDE WEST, & REAR)	F: 33', S(E): 17', S(W): 21', R: 33'
CURRENT BUILDING SF	148,628 GSF

ARCHITECT

BRS ARCHITECTURE
129 S. MAIN ST. #250
GRAPEVINE, TX 76051
303-455-1366

OWNER/DEVELOPER

CITY OF ALLEN PARKS & RECREATION
301 CENTURY PKWY, ALLEN, TX 75013
214-509-4700

PREPARED BY

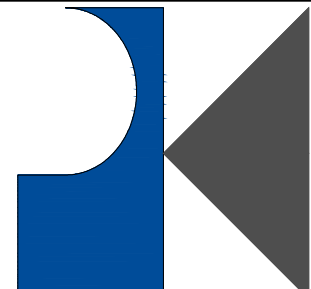
Pacheco Koch

7557 RAMBLER ROAD SUITE 1400
DALLAS, TX 75231
TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

T: 972.235.3031
F: 972.235.9544



brsarch.com



7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 • 972.235.3031
TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

Site Plan
For
Stephen G Terrell Recreation Center
61.32 Acres
*Texas Parks and Recreation Foundation
In Trust for the City of Allen, Texas
Vol. 4950, PG. 4411 & PG. 4415, DRCCT
City of Allen, Collin County, Texas*

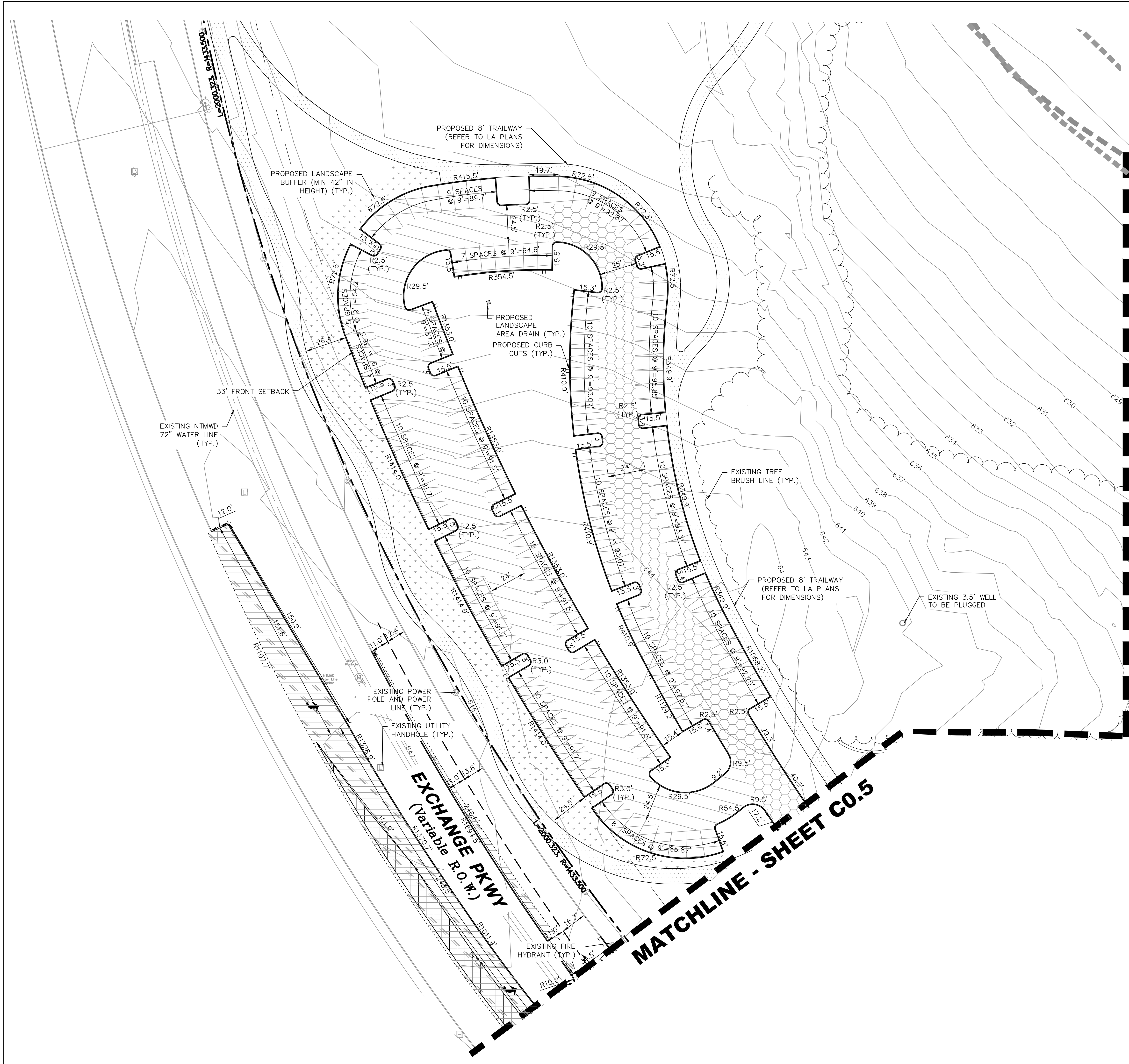
DOCUMENT
PACKAGE NOT FOR
REGULATORY
APPROVAL,
PERMITTING, OR
CONSTRUCTION

Project Number: 2020.001
Issue: SITE PLAN
Date: 11/13/2020
Drawn By: CAA
Checked By: KCM
Revisions:

Sheet
title: SITE PLAN

C0.3

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LEGEND

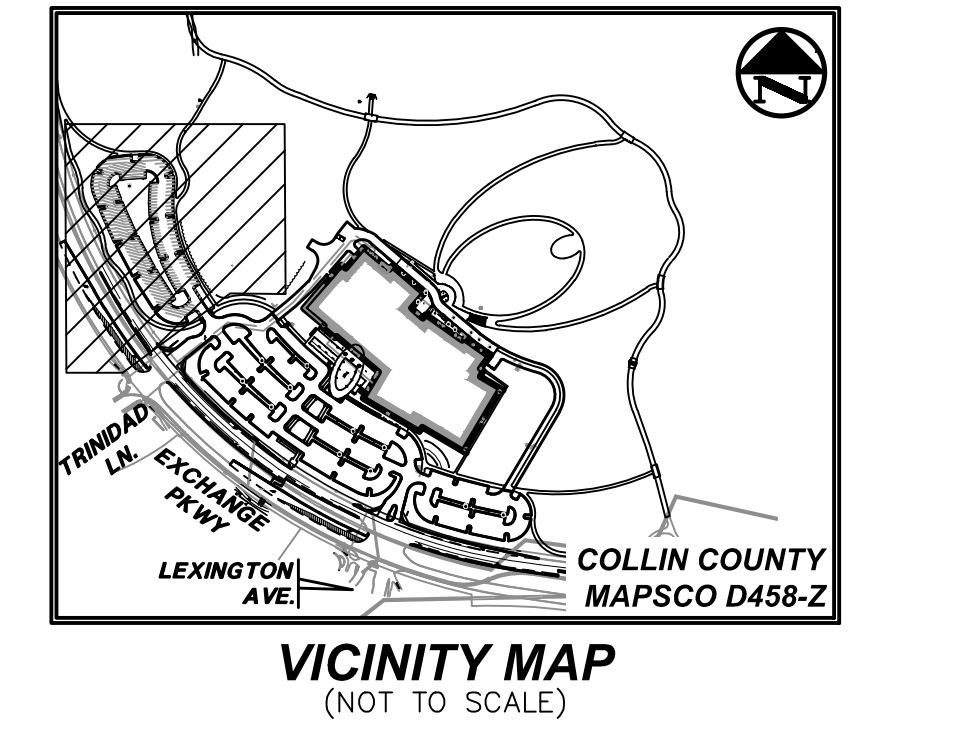
	BOLLARD
	ELECTRIC PEDESTAL
	ELECTRIC TRANSFORMER
	POWER POLE
	GUY WIRE
	CONCRETE POWER POLE
	LIGHT STANDARD
	WATER VALVE
	FIRE HYDRANT
	MANHOLE
	TELEPHONE PEDESTAL
	TRAFFIC SIGN
	PROPERTY LINE
	FENCE

	4" REINFORCED CONCRETE* (CLASS "A", 3000 PSI)
	PARKING AND DRIVE AREAS,* 5" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)
	FIRE LANE,* 6" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)
	FIRE LANE,* 6" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI) (REFER TO LA FOR CONCRETE FINISH)
	DUMPSTER AREA,* 7" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)
	9" REINFORCED CONCRETE PAVEMENT* #4 BAR 12" OCEW (CLASS "C", 3600 PSI)
	NON-STANDARD FIRE LANE PAVING GRASS PAVERS (PRODUCT XXX)
	PROPOSED LANDSCAPE CONCRETE SIDEWALK (REFER TO LA PLANS)

SUBGRADE PREPARATION (DENOTED WITH *)
8" LIME STABILIZED SUBGRADE COMPACTED TO 95%
STANDARD PROCTOR DENSITY @ A MOISTURE CONTENT
OF -2% TO +2% OF OPTIMUM MOISTURE CONTENT AND
EXTEND 2 FEET BEYOND THE PAVEMENT
EDGES (EXCEPT WHERE BIOSWALES ARE LOADED)

NOTE 1: PRIOR TO LIMING, IT SHOULD BE VERIFIED THAT
THE SUBGRADE SOILS HAVE A SOLUBLE SULFATE
CONCENTRATIONS OF 3,000 PPM OR LESS

NOTE 2: AFTER THE FINAL GRADING HAS BEEN PERFORMED,
DEPTH CHECKS AND PI VERIFICATION CHECKS SHOULD BE
PERFORMED TO VERIFY THAT PROPER STABILIZATION HAS
BEEN ACHIEVED AS EVIDENCED BY A PI REDUCTION OF
15 OR LESS.



NOTES:

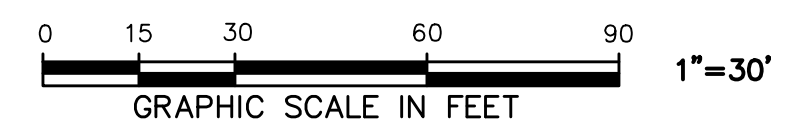
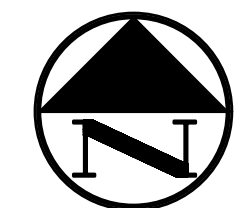
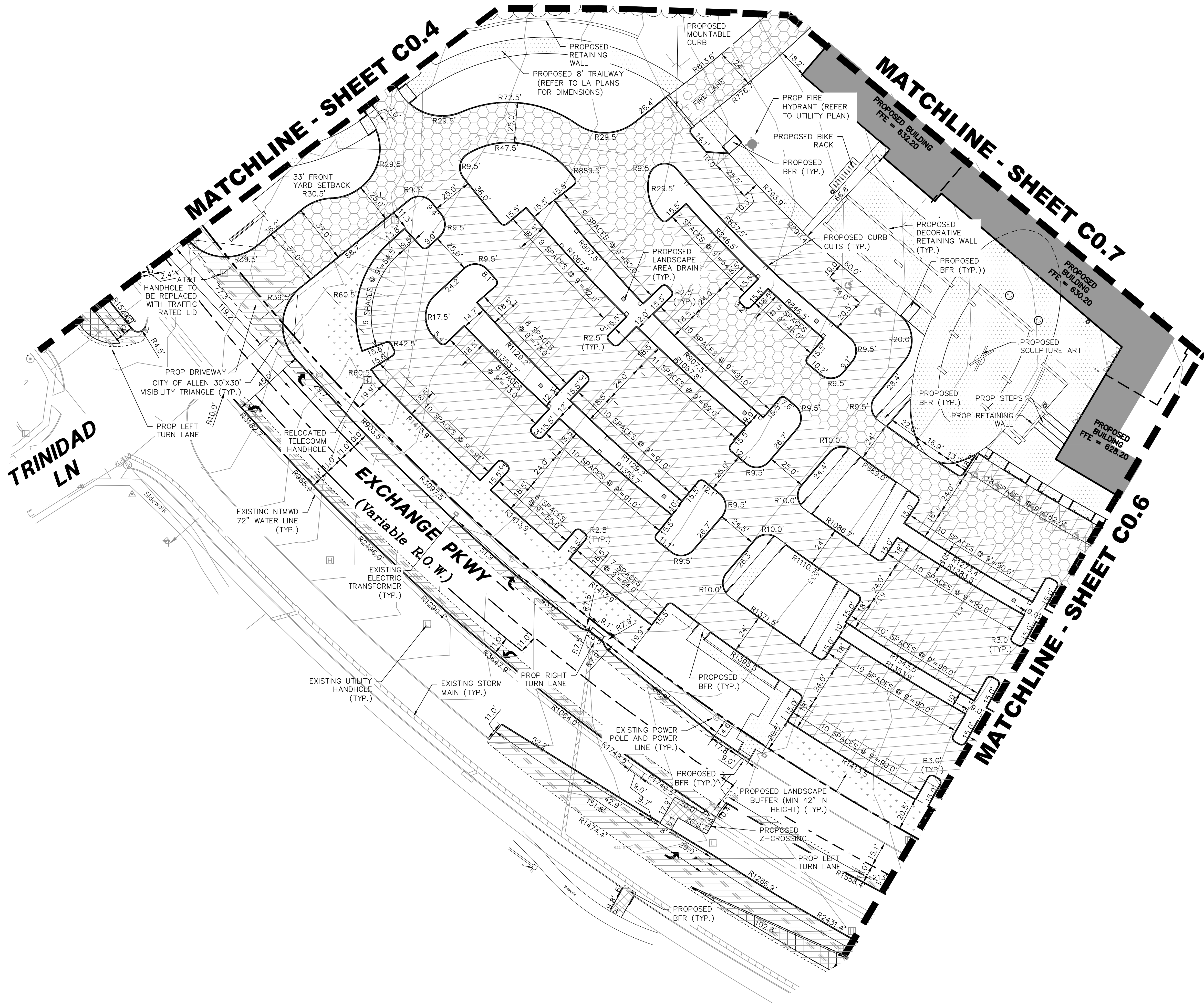
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ALL DIMENSIONS ARE TO
BACK-OF-CURB UNLESS
OTHERWISE NOTED.

**PRELIMINARY
NOT FOR CONSTRUCTION**

THIS DOCUMENT IS ISSUED FOR THE
PURPOSE OF SCHEMATIC REVIEW ONLY
AND IS NOT INTENDED FOR PERMITTING,
BIDDING, OR CONSTRUCTION PURPOSES.

PLANS PREPARED UNDER THE DIRECT
SUPERVISION OF KEVIN C. MINKLER, P.E.
TEXAS REGISTRATION NO. 124843
DATE: 11/13/2020



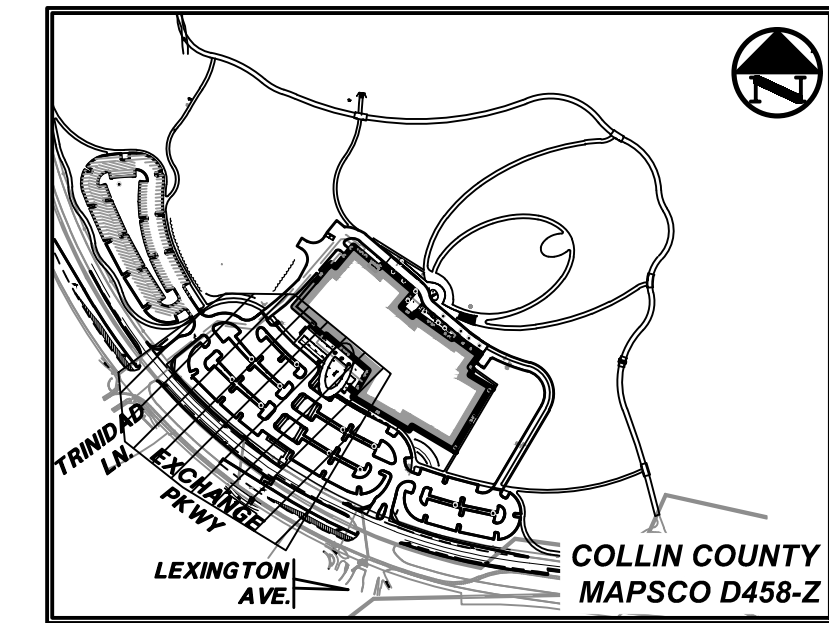
LEGEND

- BOLLARD
- ELECTRIC PEDESTAL
- ELECTRIC TRANSFORMER
- POWER POLE
- GUY WIRE
- CONCRETE POWER POLE
- LIGHT STANDARD
- WATER VALVE
- FIRE HYDRANT
- MANHOLE
- TELEPHONE PEDESTAL
- TRAFFIC SIGN
- PROPERTY LINE
- FENCE
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8" LIME STABILIZED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY @ A MOISTURE CONTENT OF -2% TO +2% OF OPTIMUM MOISTURE CONTENT AND EXTEND 2 FEET BEYOND THE PAVEMENT EDGES (EXCEPT WHERE BIOSWALES ARE LCOATED)

NOTE 1: PRIOR TO LIMING, IT SHOULD BE VERIFIED THAT THE SUBGRADE SOILS HAVE A SOLUBLE SULFATE CONCENTRATIONS OF 3,000 PPM OR LESS

NOTE 2: AFTER THE FINAL GRADING HAS BEEN PERFORMED, DEPTH CHECKS AND PI VERIFICATION CHECKS SHOULD BE PERFORMED TO VERIFY THAT PROPER STABILIZATION HAS BEEN ACHIEVED AS EVIDENCED BY A PI REDUCTION OF 15 OR LESS.



VICINITY MAP
(NOT TO SCALE)

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PRELIMINARY
NOT FOR CONSTRUCTION

THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.

PLANS PREPARED UNDER THE DIRECT SUPERVISION OF KEVIN C. MINKLER, P.E.
TEXAS REGISTRATION NO. 124843
DATE: 11/13/2020



brsarch.com



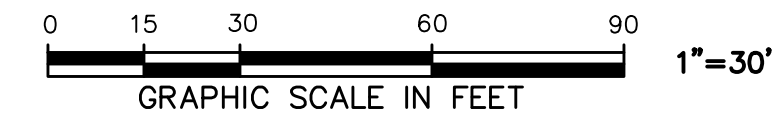
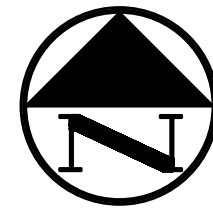
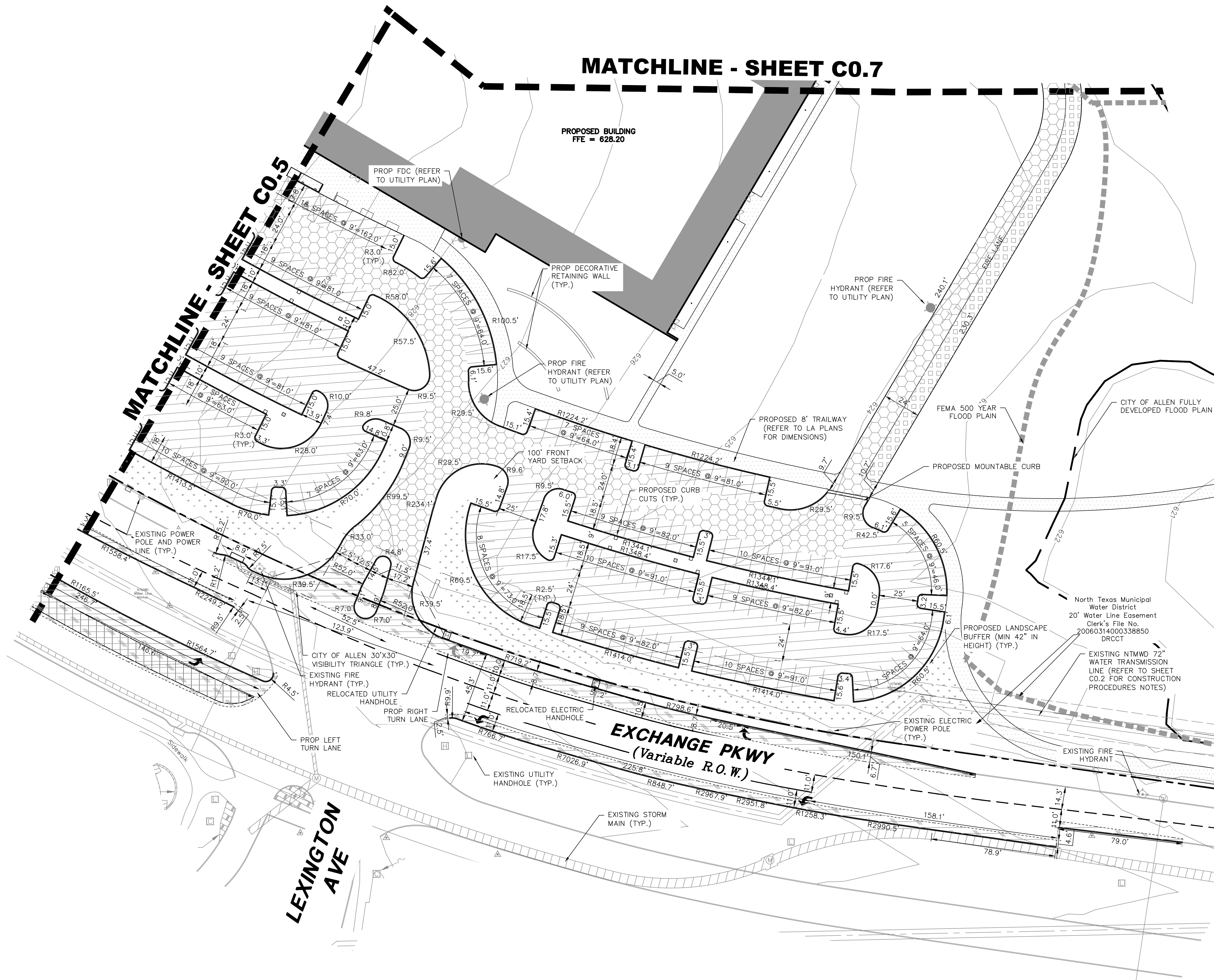
Site Plan
For
Stephen G Terrell Recreation Center
61.32 Acres
Texas Parks and Recreation Foundation
In Trust for the City of Allen, Texas
Vol. 4950, PG. 4411 & PG. 4415, DRCCCT
City of Allen, Collin County, Texas

DOCUMENT
PACKAGE NOT FOR
REGULATORY
APPROVAL,
PERMITTING, OR
CONSTRUCTION

Project Number: 2020.001
Issue: SITE PLAN
Date: 11/13/2020
Drawn By: CAA
Checked By: KCM
Revisions:

Sheet
title: SITE PLAN

C0.5



LEGEND

- BOLLARD
- ELECTRIC PEDESTAL
- ELECTRIC TRANSFORMER
- POWER POLE
- GUY WIRE
- CONCRETE POWER POLE
- LIGHT STANDARD
- WATER VALVE
- FIRE HYDRANT
- MANHOLE
- TELEPHONE PEDESTAL
- TRAFFIC SIGN
- PROPERTY LINE
- FENCE

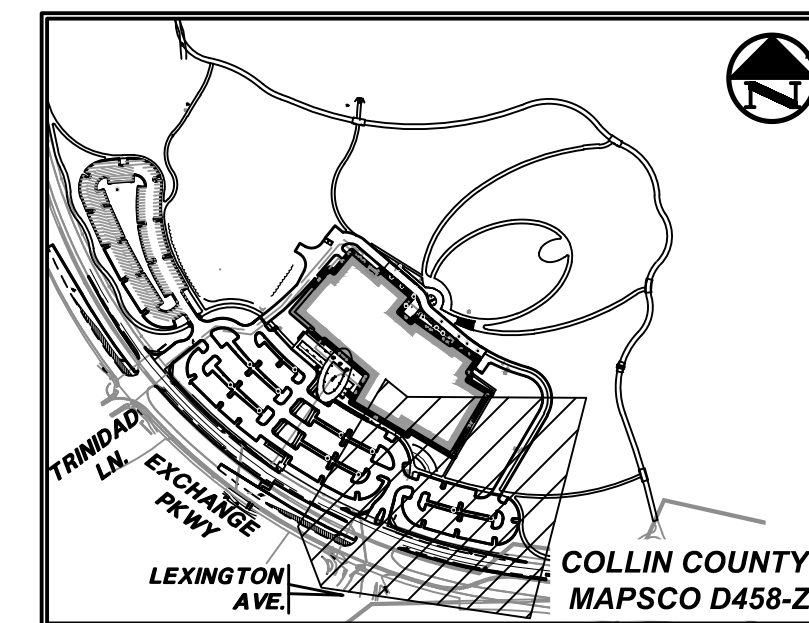
- 4" REINFORCED CONCRETE* (CLASS "A", 3000 PSI)
- PARKING AND DRIVE AREAS,* 5" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)
- FIRE LANE,* 6" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)
- FIRE LANE,* 6" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI) (REFER TO LA FOR CONCRETE FINISH)
- DUMPSTER AREA,* 7" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)
- 9" REINFORCED CONCRETE PAVEMENT* #4 BAR 12" OCEW (CLASS "C", 3600 PSI)
- NON-STANDARD FIRE LANE PAVING GRASS PAVERS (PRODUCT XXX)
- PROPOSED LANDSCAPE CONCRETE SIDEWALK (REFER TO LA PLANS)

SUBGRADE PREPARATION (DENOTED WITH *)
8" LIME STABILIZED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY @ A MOISTURE CONTENT OF -2% TO +2% OF OPTIMUM MOISTURE CONTENT AND EXTEND 2 FEET BEYOND THE PAVEMENT EDGES (EXCEPT WHERE BIOSWALES ARE LOCATED)

NOTE 1: PRIOR TO LIMING, IT SHOULD BE VERIFIED THAT THE SUBGRADE SOILS HAVE A SOLUBLE SULFATE CONCENTRATIONS OF 3,000 PPM OR LESS

NOTE 2: AFTER THE FINAL GRADING HAS BEEN PERFORMED, DEPTH CHECKS AND PI VERIFICATION CHECKS SHOULD BE PERFORMED TO VERIFY THAT PROPER STABILIZATION HAS BEEN ACHIEVED AS EVIDENCED BY A PI REDUCTION OF 15 OR LESS.

- NOTES:
1. APPLICANT SHALL COMPLY WITH CITY ORDINANCE, CHAPTER 6, HEALTH AND ENVIRONMENT; ARTICLE III, SOLID WASTE; SECTIONS 6-51 TO 6-80
 2. APPLICANT SHALL COMPLY WITH ALL IRRIGATION REGULATIONS IN V.T.C.A. ADMINISTRATIVE CODE TITLE 30, CHAPTER 344 RULES ESTABLISHED BY THE STATE OF TEXAS; AND REQUIREMENTS FOR IRRIGATION DESIGN AND WATER CONSERVATION SET IN THE ALLEN LAND DEVELOPMENT CODE SECTION 7.05.6, AND THE CITY OF ALLEN WATER CONSERVATION AND DROUGHT CONTINGENCY AND EMERGENCY RESPONSE PLAN



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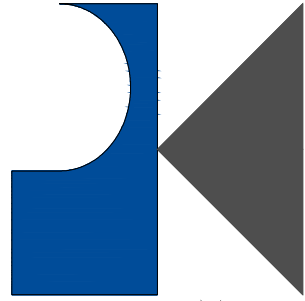
PLANS PREPARED UNDER THE DIRECT SUPERVISION OF KEVIN C. MINKLER, P.E. TEXAS REGISTRATION NO. 124843 DATE: 11/13/2020

ALL DIMENSIONS ARE TO BACK-OF-CURB UNLESS OTHERWISE NOTED.



BARKER RINKER SEACAT ARCHITECTURE

brsarch.com



Pacheco Koch
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 • 972.235.3031
TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-1008000

Site Plan For
Stephen G Terrell Recreation Center
61.32 Acres
*Texas Parks and Recreation Foundation
in Trust for the City of Allen, Texas
Vol. 4950, PG. 4411 & PG. 4415, DRCCCT
City of Allen, Collin County, Texas*

DOCUMENT PACKAGE NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

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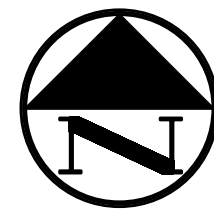
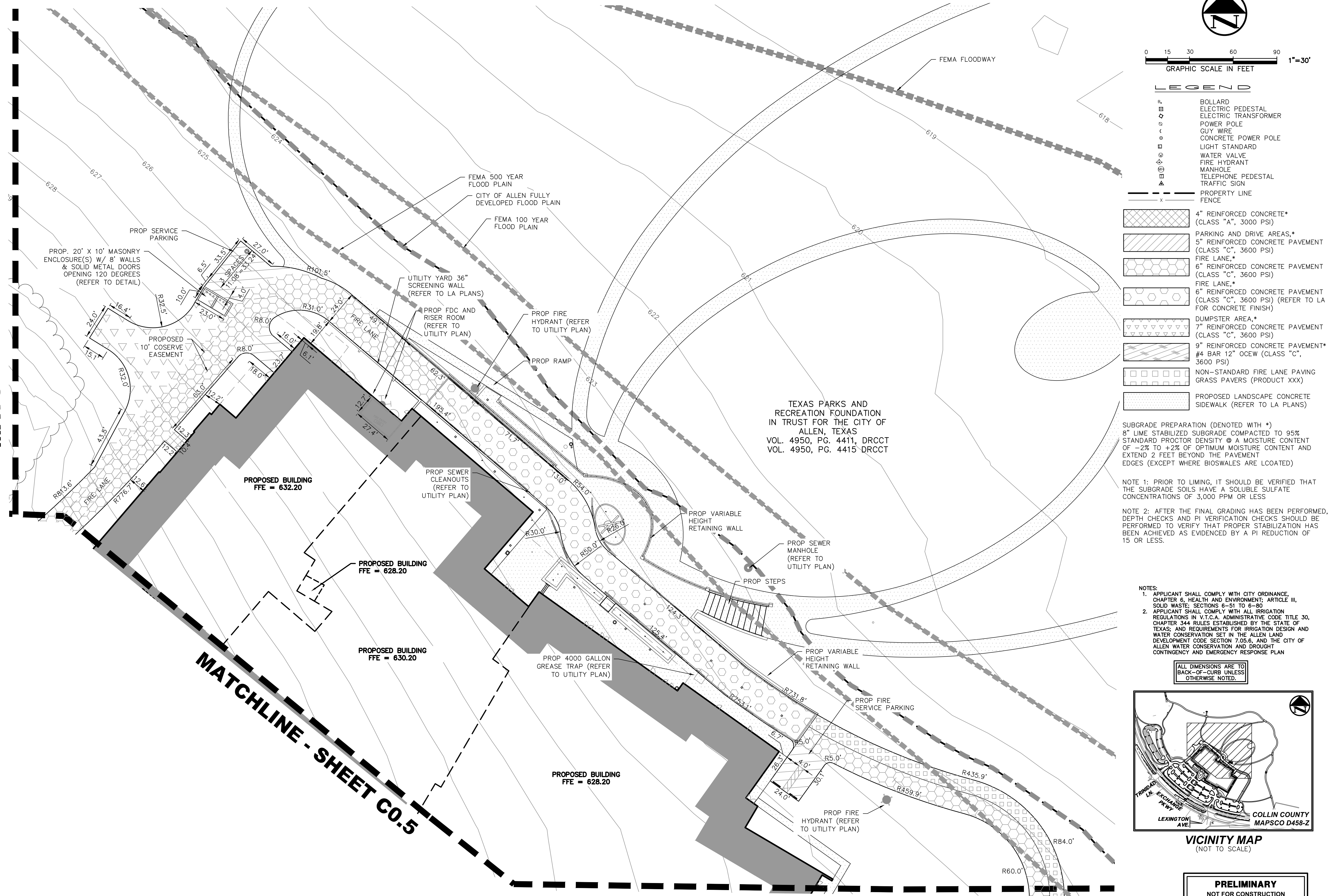
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C0.6

MATCHLINE - SHEET C0.4

MATCHLINE - SHEET C0.5

MATCHLINE - SHEET C0.6

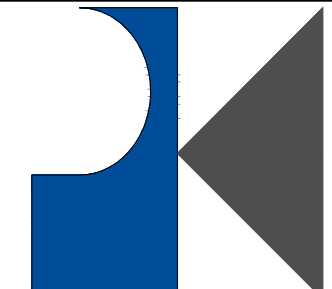


0 15 30 60 90
GRAPHIC SCALE IN FEET
1"=30'



**BARKER
RINKER
SEACAT**
ARCHITECTURE

brsarch.com



Pacheco Koch
7557 RAWLINS ROAD, SUITE 1400
DALLAS, TX 75231 • 972.235.3031
TX REG. ENGINEERING FRM F-469
TX REG. SURVEYING FRM IS-1008800

Site Plan
For
Stephen G Terrell Recreation Center
61.32 Acres

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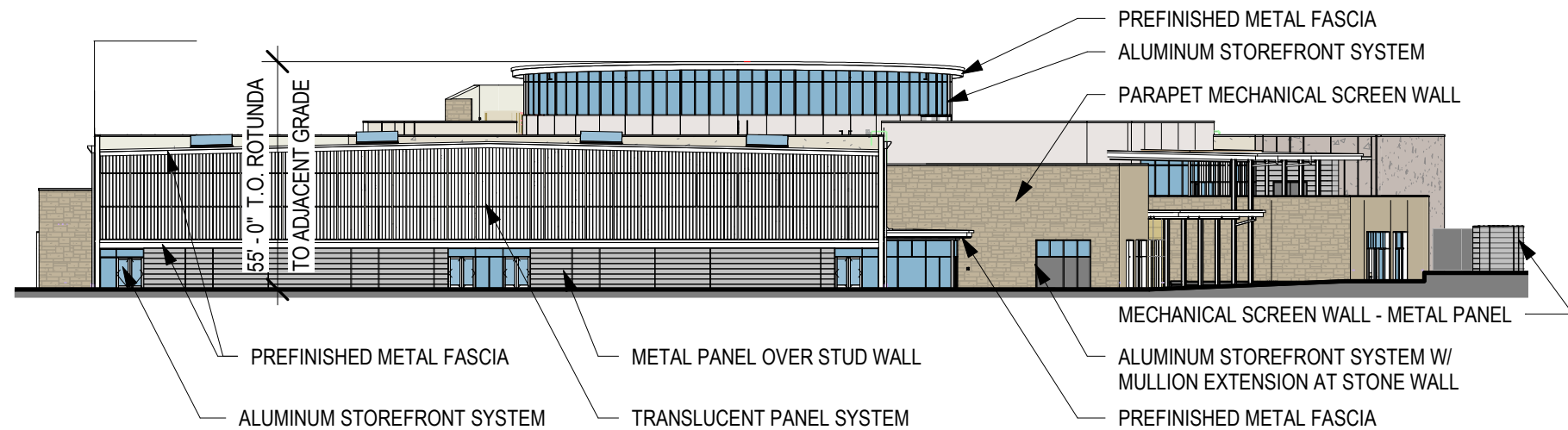
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Issue: SITE PLAN
Date: 11/13/2020
Drawn By: CAA
Checked By: KCM

Revisions:

Sheet
title: SITE PLAN





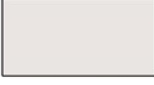
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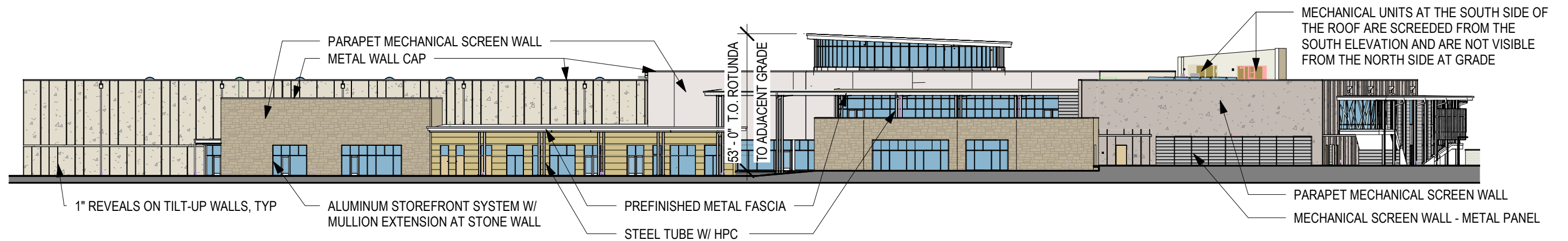
© 2020 Barker Rinker Seacat Architecture



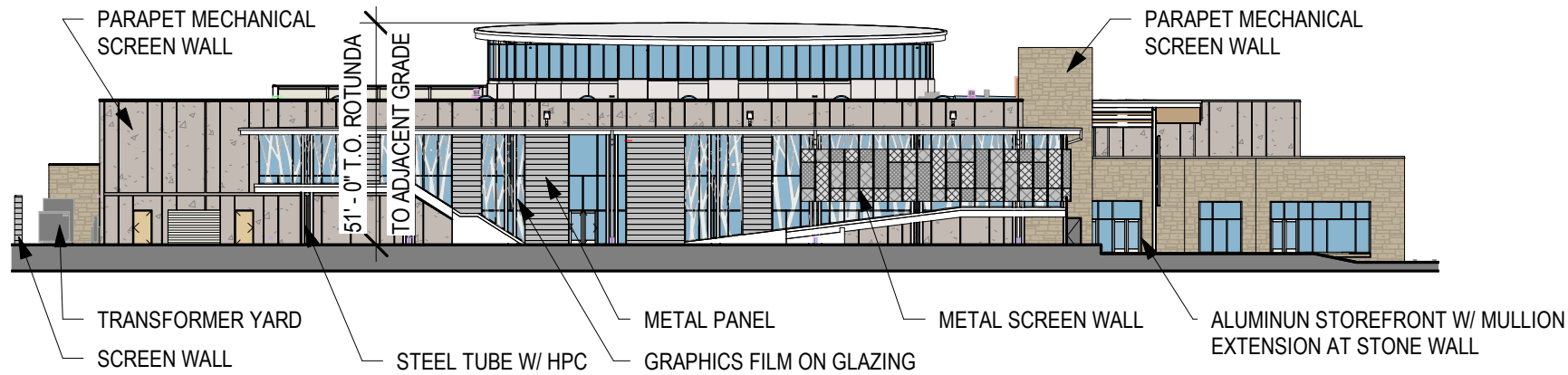
2
A-31
EAST - OVERALL BUILDING ELEVATION - COLOR
1" = 40'-0"

BUILDING MATERIAL TABLE

MATERIAL	SOUTH ELEV	WEST ELEV	EAST ELEV	NORTH ELEV
 TILT-UP CONCRETE WALL	7,070 SF 45%	2,760 SF 63%		7,040 SF 47%
 LIMESTONE VENEER	5,280 SF 34%	725 SF 16%	1,580 SF 51%	3,565 SF 24%
 GFRC FACADE SLATS	1,405 SF 9%			1,240 SF 8%
 HORIZONTAL METAL PANEL	200 SF 1%	935 SF 21%	1,535 SF 49%	800 SF 5%
 STUCCO SYSTEM	1,740 SF 11%			2,470 SF 16%
TOTAL PER ELEVATION *	15,695 SF 100%	4,420 SF 100%	3,115 SF 100%	15,115 SF 100%
*NOT INCLUDING GLAZING, DOORS, ROOFS, OR AWNINGS.				





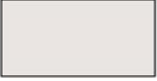


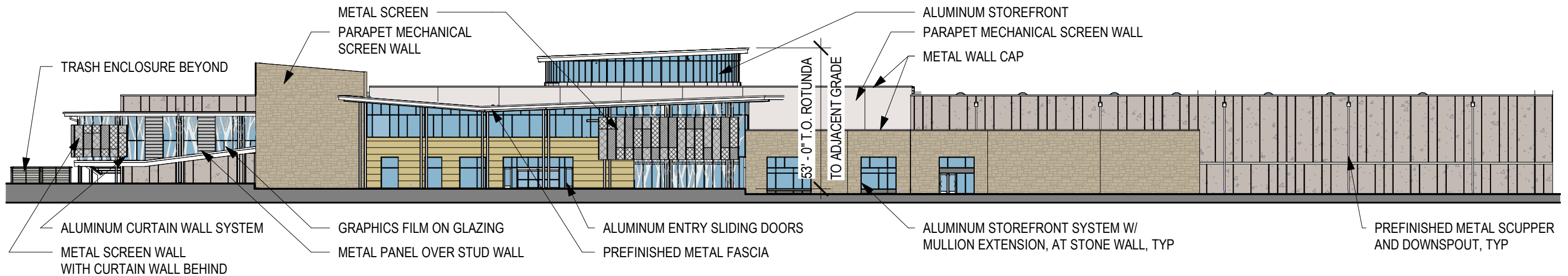
1
A-31
NORTH - OVERALL BUILDING ELEVATION - COLOR
1" = 40'-0"



2
A-32
WEST - OVERALL BUILDING ELEVATION - COLOR
1" = 40'-0"

BUILDING MATERIAL TABLE

MATERIAL	SOUTH ELEV	WEST ELEV	EAST ELEV	NORTH ELEV
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*NOT INCLUDING GLAZING, DOORS, ROOFS, OR AWNINGS.				



1
A-32
SOUTH - OVERALL BUILDING ELEVATION - COLOR
1" = 40'-0"



Stephen G Terrell Recreation Center
EXCHANGE PARKWAY ALLEN, TX

Project Number: 2020.001
Issue: Site Plan 2nd Resubmittal
Date: 11/13/2020

A-32
ELEVATIONS

PLANNING AND ZONING COMMISSION AGENDA COMMUNICATION
--

AGENDA DATE:	December 1, 2020
SUBJECT:	Conduct a Public Hearing and Consider a Request for a Specific Use Permit SUP for a Restaurant (drive-in or through) Use Located on Lot 2, Block A, Greenville Center Addition; Generally Located Directly South of Stacy Road and Approximately 648± Feet East of Andrews Parkway (and commonly known as 350 E. Stacy Road). (SUP-103020-0007) [Chick-Fil-A (Stacy)]
STAFF RESOURCE:	Rolandrea Russell Planner
LEGAL NOTICES:	Public Hearing Sign - Installed November 20, 2020 Property Owner Notices - Mailed November 20, 2020
ANTICIPATED COUNCIL DATE:	January 12, 2021

BACKGROUND

The property is generally located directly south of Stacy Road and approximately 648± feet east of Andrews Parkway. The properties to the east and west are zoned Corridor Commercial CC. The properties to the south are zoned Single Family Residential R-5. The properties to the north (across Stacy Road) are in the Town of Fairview.

The property is currently zoned Corridor Commercial CC. The Allen Land Development Code requires a Specific Use Permit (SUP) for a Restaurant (Drive-in or Through) use within the Corridor Commercial CC zoning district. The property is currently operating as a drive-through restaurant; however, the applicant is proposing to modify the site and building. While this is not a new development, the proposed modification requires the approval of a Specific Use Permit to bring the site to be in full compliance with the Allen Land Development Code. The approval of a revised site plan and the subsequent the issuance of a building permit are the next steps following the Specific Use Permit.

The attached SUP Site Plan shows a 1.72± acre lot with a 4,665± square foot building for a drive-in or through use. There is a proposed 288 square foot addition to the existing building and the addition of metal canopies. The modifications to the site include the creation of a dual drive-through lane changing the existing drive through pattern for the site. The applicant is proposing to add a deceleration lane for a right turn lane at the entrance along Stacy Road. This is in lieu of a stacking and queuing analysis in order to aide in mitigating traffic concerns on Stacy Road caused by the existing development.

The Specific Use Permit request has been reviewed by the Technical Review Committee and meets the standards of the Allen Land Development Code.

STAFF RECOMMENDATION

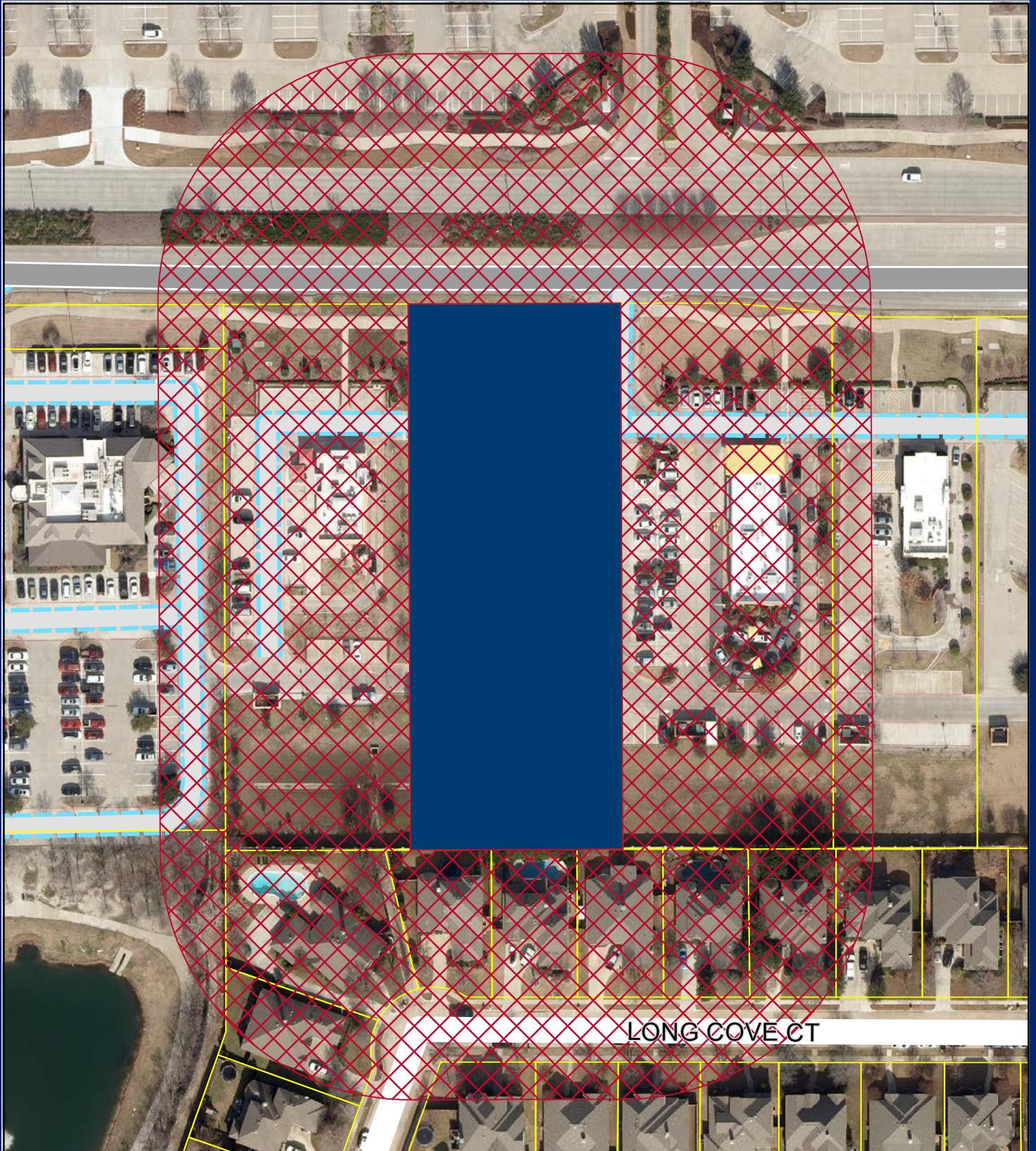
Staff recommends approval.

MOTION

I move to recommend approval of the request granting a Specific Use Permit for a Restaurant (Drive-in or Through) use for Lot 2, Block A, Greenville Center Addition, subject to the development regulations and SUP Site Plan, as presented.

ATTACHMENTS:

Property Notification Map
SUP Site Plan



Location Map

Chick-Fil-A
350 E. Stacy Rd.

Map Legend

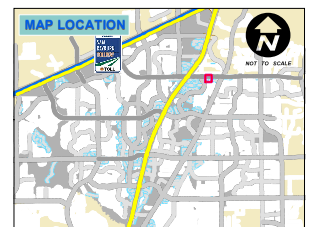
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-  Chick_Fil_A_Stacy
-  CollinCAD Parcels

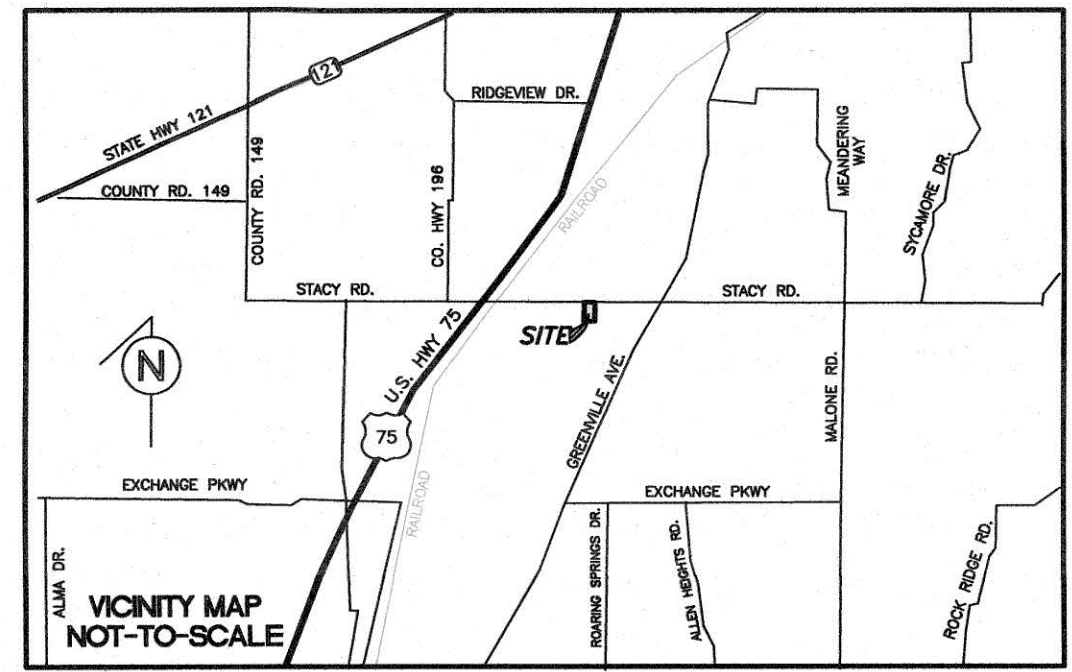
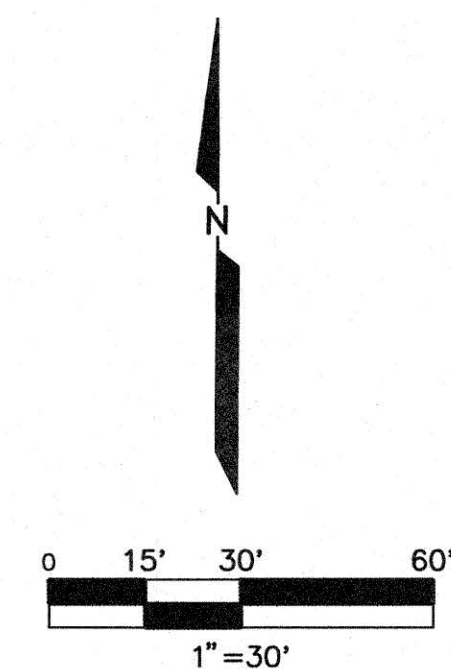
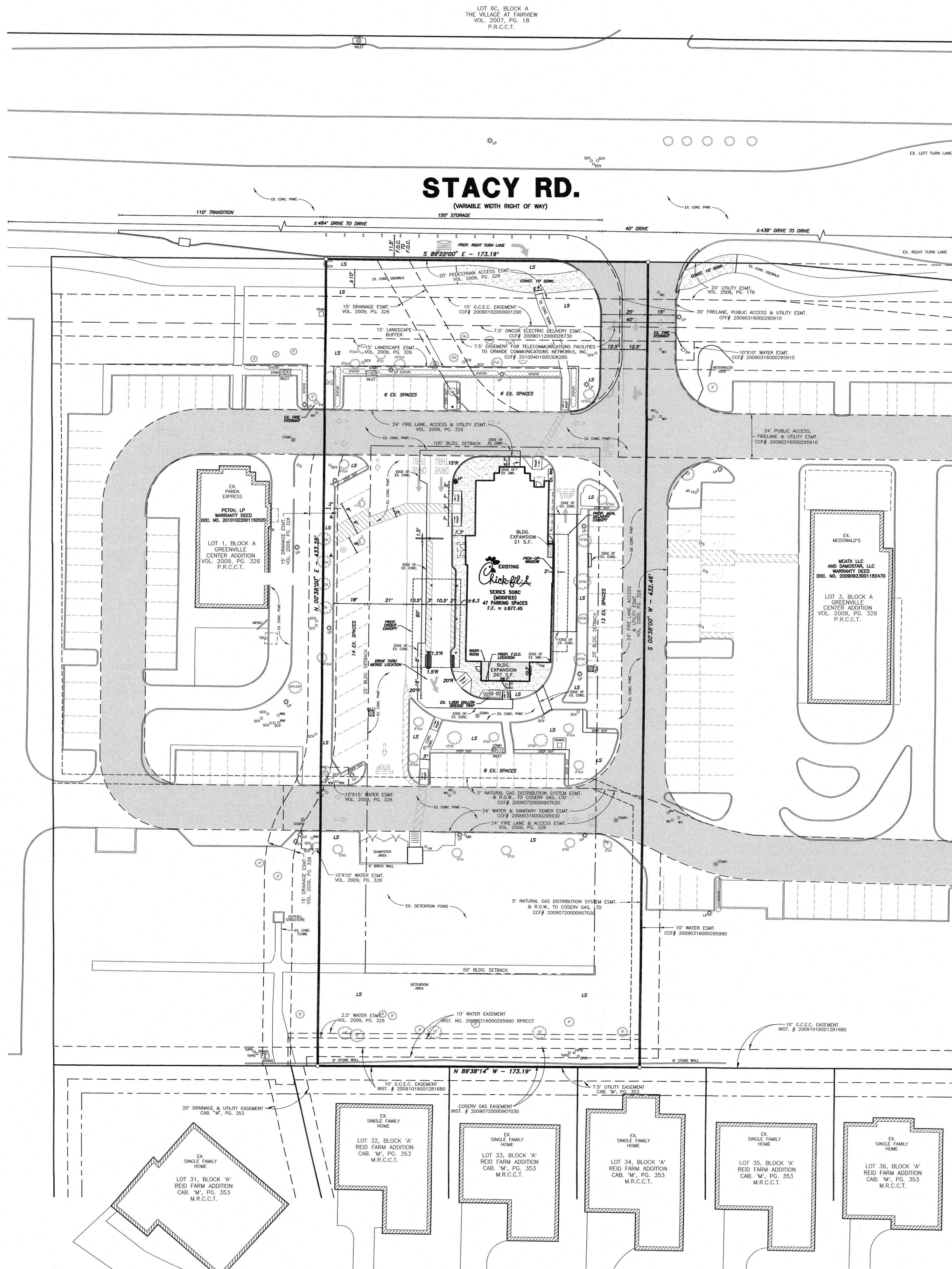


0 30 60 90
Feet

Community Development - Planning
Date Saved: 11/12/2020

NOTE: This map is only for illustration purpose only, please contact the City of Allen Planning & Development Department for specific rules and regulations.





VICINITY MAP
N.T.S.

- LEGEND
- S SIGN
 - F.H. FIRE HYDRANT
 - X SET CHISELED "X" SET
 - F.X. CHISELED "X" FOUND
 - F.I.R. IRON ROD FOUND (SIZE AS NOTED)
 - S.L.R. OVERHEAD UTILITY POLE W/ GUY
 - PP UNDERGROUND ELECTRIC OR TELEPHONE
 - LP LIGHT POLE
 - SSMH SANITARY SEWER MANHOLE
 - C.O. SAN. SWR. CLEAN OUT
 - G.V. GAS VALVE
 - W.V. WATER VALVE
 - T TREE
 - MH MANHOLE (TYPE AS NOTED)
 - S.B. BOX TRAFFIC SIGNAL BOX
 - TRANS. ELECTRIC TRANSFORMER BOX
 - TOWER ELECTRIC TRANSMISSION STEEL TOWER
 - CABLE UNDERGROUND CABLE MARKER
 - TB TRAFFIC BOX
 - SCV SPRINKLER CONTROL VALVE
 - EM ELECTRIC METER
 - GM GAS METER
 - FP FLAG POLE
 - LO LIVE OAK
 - RO RED OAK
 - BC BALD CYPRESS
 - CM CROPE MYRTLE
 - YH YOUNG HOLLY
 - LS LANDSCAPING
 - S.S.I. STORM SEWER INLET
 - EX. FIRE LANE

NOTES

1. ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS AND/OR CITY STANDARD SPECIFICATIONS, WHICH EVER IS MORE RESTRICTIVE.
2. ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
4. THE CONTRACTOR SHALL GIVE THE CITY A MINIMUM OF 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
6. IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/ SUPERVISOR IMMEDIATELY.
7. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
8. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
9. BUILDING IS PARALLEL AND PERPENDICULAR TO THE NORTH, EAST & WEST PROPERTY LINES.
10. ALL RADI ARE 2' UNLESS OTHERWISE NOTED.
11. APPLICANT SHALL COMPLY WITH CITY ORDINANCE, CHAPTER 6, HEALTH AND ENVIRONMENT; ARTICLE III, SOLID WASTE; SECTION 6-51 TO 6-80.
12. APPLICANT SHALL COMPLY WITH ALL IRRIGATION REGULATIONS IN V.T.C.A. ADMINISTRATIVE CODE TITLE 30, CHAPTER 344 RULES ESTABLISHED BY THE STATE OF TEXAS; AND REQUIREMENTS FOR IRRIGATION DESIGN AND WATER CONSERVATION SET IN THE ALLEN LAND DEVELOPMENT CODE SECTION 7.05.6, AND THE CITY OF ALLEN WATER CONSERVATION AND DROUGHT CONTINGENCY AND EMERGENCY RESPONSE PLAN.

SITE DATA

ZONING:	CC (CORRIDOR COMMERCIAL)
LOT AREA:	1.7210 ACRES (74,969 S.F.)
PROPOSED USE:	DINE IN & DRIVE THRU RESTAURANT
EX. BUILDING AREA:	4,377 S.F.
PROP. BUILDING EXPANSION:	288 S.F.
TOTAL BUILDING AREA:	4,665 S.F.
EX. BUILDING AREA REMOVED:	224 S.F.
LOT COVERAGE:	6%
F.A.R.:	0.06:1
PARKING REQUIRED:	1 SPACE FOR EVERY 100 S.F. 4,665/100 = 47 SPACES
PARKING PROVIDED:	47 SPACES (2 H.C.)
BUILDING HEIGHT:	25' (1 STORY)
REQUIRED LANDSCAPE AREA:	7,497 S.F. (0.17 ACRES - 10%)
EX. LANDSCAPE AREA:	33,347 S.F. (0.77 ACRES - 44.48%)
PROP. LANDSCAPE AREA:	32,340 S.F. (0.74 ACRES - 43.14%)
FRONT YARD SETBACK:	100' REQ'D: 110' PROVIDED
SIDE YARD SETBACK:	25' REQ'D: 49' PROVIDED
REAR YARD SETBACK:	50' REQ'D: 206' PROVIDED

OWNER:
CROSS ISLAND LAND ALLEN, LLC
225 EMERALD LANE
PALM BEACH, FLORIDA 33480

ARCHITECT:
MAYSE & ASSOCIATES, INC.
14811 QUORUM DRIVE, SUITE 800
DALLAS, TEXAS 75254
PHONE: (972) 386-0338
CONTACT: CHRISTOPHER STRONG

APPLICANT:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
PHONE: (404) 765-8000
CONTACT: PATRICK THOMPSON

ENGINEER:
BURGER ENGINEERING, LLC
TEXAS REGISTERED ENGINEERING FIRM F-12997
17103 PRESTON ROAD, SUITE 180N
DALLAS, TEXAS 75248
PHONE: (972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.

SURVEYOR:
DODSON-THOMPSON-MANSFIELD, PLLC
CERTIFICATE OF AUTHORIZATION NO. 10194154
20 NE 38TH STREET
OKLAHOMA CITY, OKLAHOMA 73105
PHONE: (405) 601-7402
CONTACT: RANDY MANSFIELD, R.P.L.S.

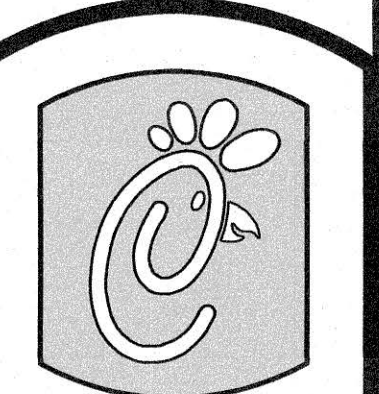
SUBMITTAL DATE: OCTOBER 30, 2020

BENCHMARK - BM 1		BENCHMARK - BM 2	
ELEVATION	674.63	ELEVATION	676.90
MONUMENT	CUT "X"-NW COR. CONC. SLAB	MONUMENT	CUT "X" ON TOP OF CURB
LOCATION	AROUND STW & MOST NORTHERLY ROW OF PARKING & NW SIDE OF CFA LOT	LOCATION	NE CORNER OF PARKING STALL WEST OF SIDEWALK & NORTH OF PANDA EXPRESS BLDG.



BURGER ENGINEERING
Civil Consultants

17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBPE F-12997

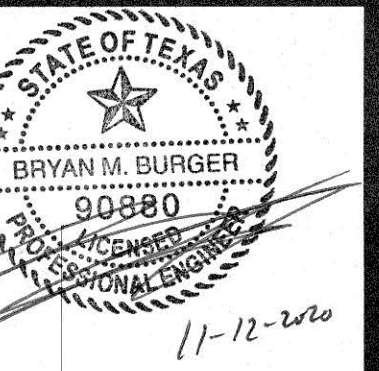


5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By

Mark Date By

Mark Date By



350 E. STACY ROAD
LOT 2, BLOCK A (1.7210 ACRES)
GREENVILLE CENTER ADDITION
CITY OF ALLEN, TEXAS
COLLIN COUNTY, TEXAS

STORE
SERIES
S08C
(MODIFIED)

SHEET TITLE
SUP SITE PLAN

☒ For Permit
☐ For Bid
☐ For Construction

Job No. : 013-240

Store : 02354

Date : 07/25/17

Drawn By : RMP

Checked By: BMB

Sheet

PLANNING AND ZONING COMMISSION AGENDA COMMUNICATION
--

AGENDA DATE:	December 1, 2020
SUBJECT:	Conduct a Public Hearing and Consider a Request for a Specific Use Permit SUP for a Medical Clinic Use for a 3,987± Square Foot Portion of a Building Located on Lot 6, Greenway-Allen Retail Addition; Generally Located Approximately 500± Feet South of McDermott Drive and Directly East of U.S. Highway 75 (and Commonly Known as 325 S. Central Expressway). (SUP- 111320-0008) [FastDoc Urgent Care]
STAFF RESOURCE:	Rolandrea Russell Planner
PREVIOUS COMMISSION/COUNCIL ACTION:	Final Plat - Approved December, 1995 Specific Use Permit - Approved July, 2018
LEGAL NOTICES:	Public Hearing Sign - Installed November 20, 2020 Property Owner Notices - Mailed November 20, 2020
ANTICIPATED COUNCIL DATE:	December 8, 2020

BACKGROUND

The property is generally located south of McDermott Drive and east of U.S. Highway 75 (and commonly known as 325 S. Central Expressway). The properties to the north, east, and south are zoned Shopping Center SC. The properties to the west (across U.S. Highway 75) are zoned Planned Development PD No. 55 Commercial/Office C/O and Planned Development PD No. 8 General Business GB.

The property is currently zoned Shopping Center SC. The Allen Land Development Code requires a Specific Use Permit (SUP) for a Medical Clinic use within the SC zoning district. This location was formerly used as a medical clinic by American Family Care and was granted a Specific Use Permit by the City Council in July 2018. The applicant is proposing to tenant the same 3,987± square foot suite for a similar urgent care facility. Staff categorizes this use as a Medical Clinic use.

The applicant submitted a business summary in conjunction with the SUP application. The submitted business summary indicates that FastDoc Urgent Care will provide urgent care services and treat to walk-ins and patients with appointments daily with operating hours of 8:00 a.m. to 8:00 p.m.

The Specific Use Permit request has been reviewed by staff and meets the standards of the Allen Land Development Code.

STAFF RECOMMENDATION

Staff recommends approval.

MOTION

I move to recommend approval of the request granting a Specific Use Permit for a Medical Clinic use for a portion of Lot 6, Greenway-Allen Retail Addition, subject to the development regulations and SUP Site Plan, as presented.

ATTACHMENTS:

Property Notification Map
SUP Site Plan



Location Map
FastDoc Urgent Care
325 Central Expy S
Suite 6

Map Legend

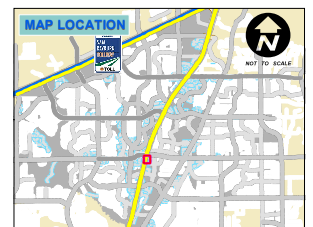
- FastDoc Suite
- FastDoc Buffer
- FastDoc Parcel
- CollinCAD Parcels



0 30 60 90
 Feet

Community Development - Planning
 Date Saved: 11/12/2020

NOTE: This map is only for illustration purpose only, please contact the City of Allen Planning & Development Department for specific rules and regulations.



SUP SUITE PLAN

325 CENTRAL EXPRESSWAY SOUTH

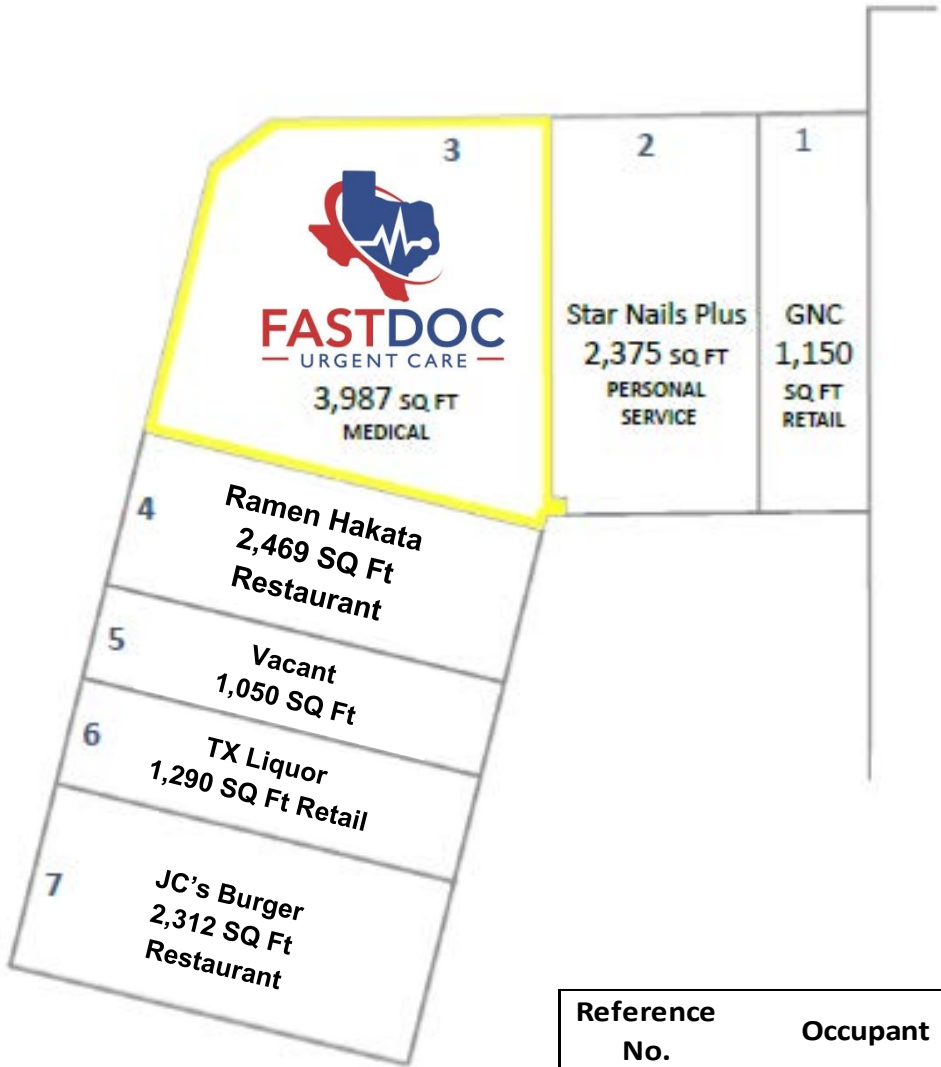
LOT 6, GREENWAY-ALLEN RETAIL ADDITON

TOTAL SITE AREA – 74,279 SQ FT (1.0752 ACRES)

SUBMITTAL DATE: NOV 13, 2020

95 PARKING SPACES PRESENT

88 PARKING SPACED REQUIRED



Reference No.	Occupant	Use	Parking Ratio	Area in sq.ft	Spaces required
1	GNC	Retail Store	1/200	1150	5.75
2	Star Nails	Personal Service	1/200	2375	11.88
3	FastDoc	Medical Clinic	1/250	3987	15.95
4	Ramen Hakata	Restaurant	1/100	2469	24.69
5	Vacant			1050	0
6	TX Kiquor	Retail Store	1/200	1290	6.45
7	JC's Burger	Restaurant	1/100	2312	23.12
	TOTAL				87.84

Applicant:

FastDoc Professional Association
d/b/a FastDoc Urgent Care
7713 Cassion Drive
Frisco, Texas 75034
Yong C. Lee, CEO
Tel. (214) 675-8193

